

ROOF PANEL LEGEND

2x12 VSB PANELS 11'0" BY 11'0" HIGH, 14'0" S.P.
 2x6 OR 2x8 TRUSSES 3' W/ 5' S.P.
 ROOF BY BUILDER

NOTE 1: MAIN ROOF TO BE OVERLAPPED BY BUILDER

1 **ROOF PLAN**
SCALE: 1/4" = 1'-0"

YANKEE BARN HOMES

CONTRACTOR'S LIABILITY: THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE ROOF SYSTEM. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE ROOF SYSTEM. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE ROOF SYSTEM.

PROPERTY OF YANKEE BARN HOMES
115 Vernon St. & Blvd. (2015) 2015-106
Grafton, NH 03748 (2015) 863-7400
www.yankeebarnhomes.com

SQUARE FOOTAGE:	
1st FLOOR	11,773 SF
2nd FLOOR	6,015 SF
TOTAL FLOOR	17,788 SF
CEILING	1,200 SF
BASE OF 1st FLOOR	4,852 SF
CEILING	4,852 SF

ALLEN & ANN HARTFORD

SPENCER ROAD
PLAINFIELD, NH

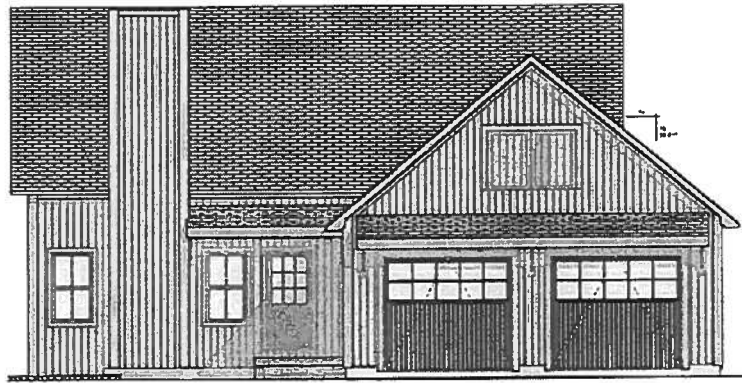
CONTRACT #: 201810731

REV	DATE	DESCRIPTION	BY	CHK
B1	8/16/21	REVISION: 11/11/2021	AL	AS
B2	7/29/21	REVISION: 11/11/2021	AL	AS
A7	8/16/21	REVISION: 11/11/2021	AL	AS
A6	8/16/21	REVISION: 11/11/2021	AL	AS
A5	8/16/21	REVISION: 11/11/2021	AL	AS
A4	8/16/21	REVISION: 11/11/2021	AL	AS
A3	8/16/21	REVISION: 11/11/2021	AL	AS
A2	8/16/21	REVISION: 11/11/2021	AL	AS
A1	8/16/21	REVISION: 11/11/2021	AL	AS
AC	11/16/21	REVISION: 11/11/2021	AL	AS

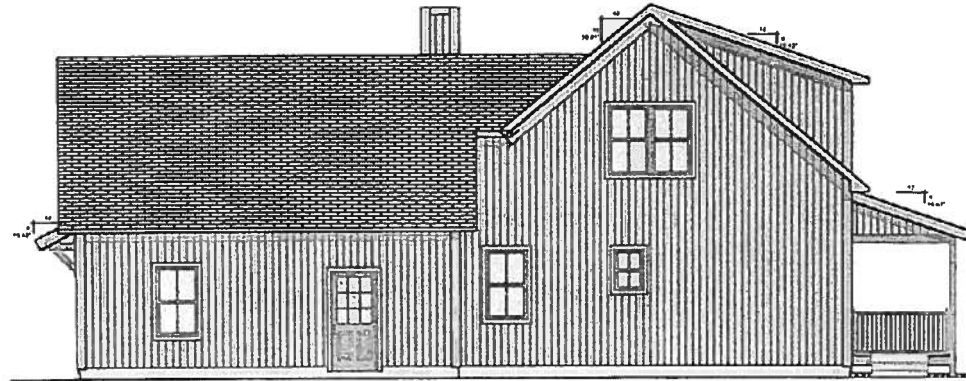
REV DATE DESCRIPTION

PAGE TITLE:
ROOF PLAN

A-1.4
SHEET: 6



1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"



2 RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

ASSUMED GROUND LINE, ACTUAL
GROUND TO BE DETERMINED ON SITE.
ELECT OVERHEADS, TRANSMISSION PIPES,
AND TELEPHONE LINES, SYSTEMS OR SERVICE
ELEMENTS, AIRWAYS, AIRCRAFT APPROACHES
SHOWN WITH REFERENCE TO GRID, SIDE
ELEVATIONS, ELEVATIONS AND DISTANCES.

PROVIDE AND DOUBLE CHECK LINES FROM
DRAWING ON EACH LINE. DOUBLE CHECK ELEVATIONS
AND DISTANCES. PROVIDE LINES OF SERVICE
ELEMENTS, AIRWAYS, AIRCRAFT APPROACHES
SHOWN WITH REFERENCE TO GRID, SIDE
ELEVATIONS, ELEVATIONS AND DISTANCES.

YANKEE BARN HOMES
1982

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PROPERTY OF YANKEE BARN HOMES
151 Yankee Barn Road
Canton, MA 01921
Yankee Barn Homes, Inc.

SQUARE FOOTAGE	1125 SF	
FIRST FLOOR	1125 SF	
SECOND FLOOR	0 SF	
TOTAL FLOOR	1125 SF	
DECK	1125 SF	
SCREENED IN LAUNDRY	1125 SF	
GARAGE	0 SF	

TECO
161119
SHEET 1 OF 2

**ALLEN & ANN
HARTFORD**

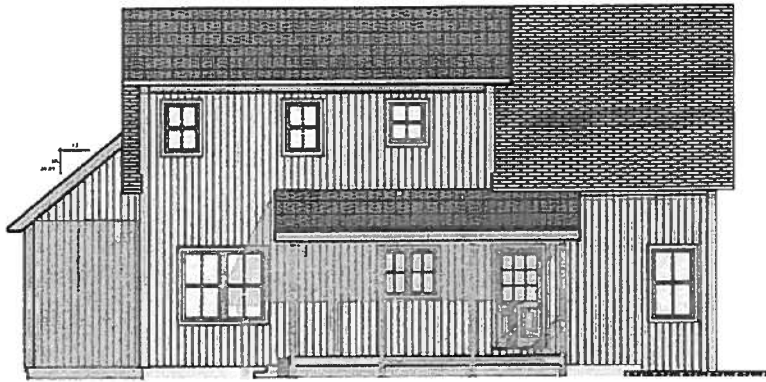
**SPENCER ROAD
PLAINFIELD, NH**

**CONTRACT #:
2019 10781**

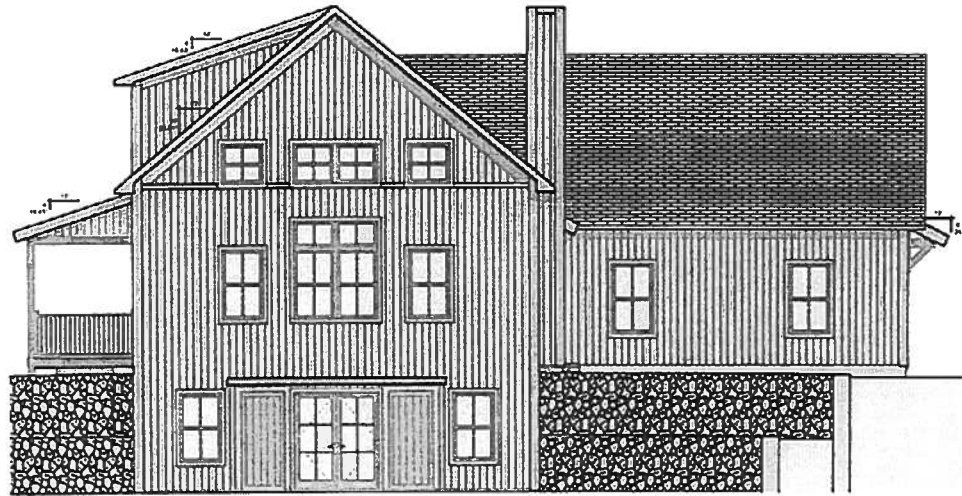
REV	DATE	DESCRIPTION	BY	CHK
B1	01/21	REVISED DRAWING	JP	CV
B0	03/21	REVISED DRAWING	JP	MLP
A7	01/21	REVISED DRAWING	JP	KT
A6	01/21	REVISED DRAWING	JP	KT
A5	01/21	REVISED DRAWING	JP	MLP
A4	01/21	REVISED DRAWING	JP	KT
A3	01/21	REVISED DRAWING	JP	MLP
A2	01/21	REVISED DRAWING	JP	KT
A1	01/21	REVISED DRAWING	JP	KT
A0	01/21	REVISED DRAWING	JP	KT

**EXTERIOR
ELEVATIONS**

A-2.1
SHEET 7



1 REAR ELEVATION
SCALE: 1/4" = 1'-0"



2 LEFT ELEVATION
SCALE: 1/4" = 1'-0"

ASSUMED GROUNDLINE. ACTUAL GROUND TO BE DETERMINED ON SITE.
 FINISH AND DIMEN. DIMENSIONS SHOWN. DIMENSIONS SHOWN ARE TO FACE UNLESS NOTED OTHERWISE.
 EXISTING FOUNDATION, WALLS, ROOFING AND SILLING PARTS TO REMAIN TO BE SHOWN WITH AN ARROW.
 PACKAGE THIS DRAWING WITH ALL OTHER DRAWINGS AND SPECIFICATIONS TO BE PROVIDED TO THE CONTRACTOR.
 CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE.
 CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE.

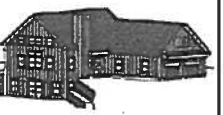
YANKEE BARN HOMES

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PROPERTY OF YANKEE BARN HOMES
 131 Vernon Street, 1920
 Guilford, NH 03045

SCHEMATIC FOOTING 11'73.5"
 SECOND FLOOR 5'0" x 5'0"
 TOTAL FLOOR 11'73.5"
 GARAGE 11'0" x 11'0"
 10/15/10

ALLEN & ANN HARTFORD



SPENCER ROAD
 PLAINFIELD, NH



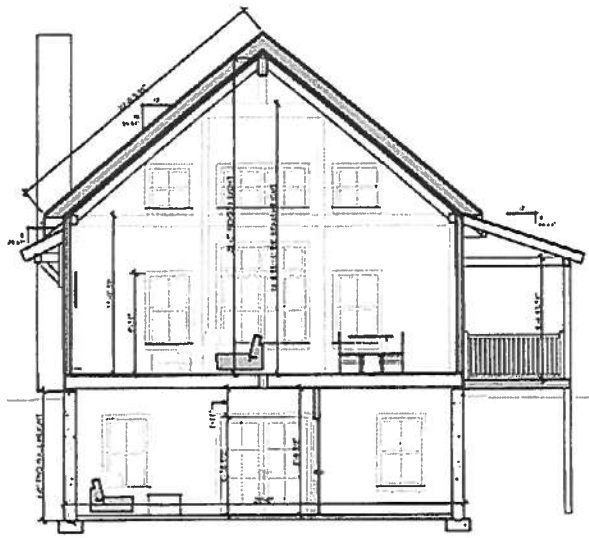
CONTRACT #
 201910791

REV	DATE	BY	DESCRIPTION	DATE
01	8/16/21	ALLEN & ANN HARTFORD	REVISIONS TO DRAWING	08/16/21
02	7/20/21	ALLEN & ANN HARTFORD	REVISIONS TO DRAWING	07/20/21
03	5/14/21	ALLEN & ANN HARTFORD	REVISIONS TO DRAWING	05/14/21
04	3/27/21	ALLEN & ANN HARTFORD	REVISIONS TO DRAWING	03/27/21
05	3/10/21	ALLEN & ANN HARTFORD	REVISIONS TO DRAWING	03/10/21
06	3/10/21	ALLEN & ANN HARTFORD	REVISIONS TO DRAWING	03/10/21
07	3/12/21	ALLEN & ANN HARTFORD	REVISIONS TO DRAWING	03/12/21
08	2/25/21	ALLEN & ANN HARTFORD	REVISIONS TO DRAWING	02/25/21
09	2/12/21	ALLEN & ANN HARTFORD	REVISIONS TO DRAWING	02/12/21
10	1/14/21	ALLEN & ANN HARTFORD	REVISIONS TO DRAWING	01/14/21

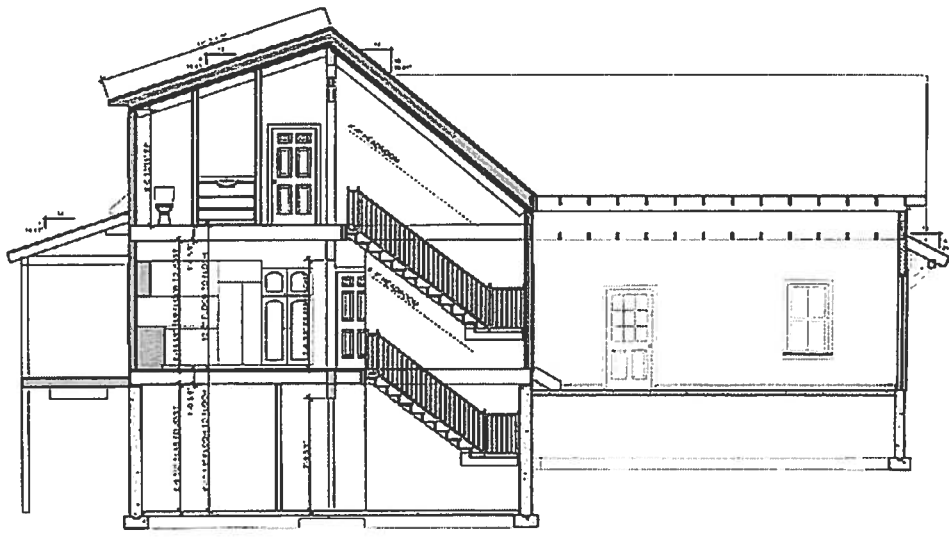
PAGE TITLE:

EXTERIOR ELEVATIONS

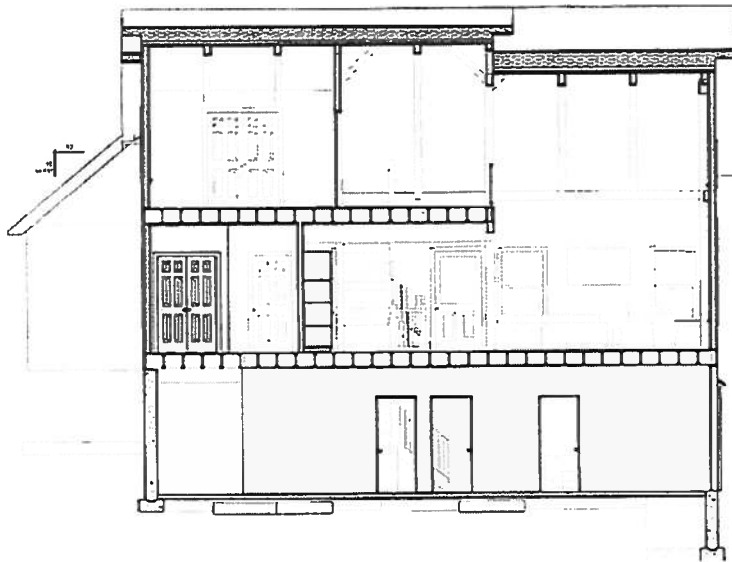
A-2.2
 SHEET 8



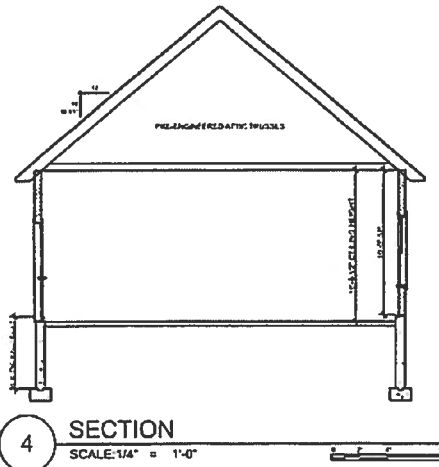
1 SECTION
SCALE: 1/4" = 1'-0"



2 SECTION
SCALE: 1/4" = 1'-0"



3 SECTION
SCALE: 1/4" = 1'-0"



4 SECTION
SCALE: 1/4" = 1'-0"

1. EXIST OVERLAPPING TRUSSES AT JOISTS NOT SHOWN CORRECTLY. SEE BENT PACKAGE SPECIFICATIONS PAGE FOR CORRECT TRUSS JOIST CONNECTIONS.
2. ACTUAL FOUNDATION FOOT DIMENSIONS TO BE SHOWN BY CIVIL ENGINEER.

YANKEE BARN HOMES

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PROPERTY OF YANKEE BARN HOMES
131 S. Union Street, Hartford, CT 06103 (860) 965-5400
www.yankeebarnhomes.com

SQUARE FOOTAGE
 1st FLOOR: 1012 SF
 2nd FLOOR: 1012 SF
 TOTAL FLOOR: 2024 SF
 GARAGE: 400 SF
 TOTAL GARAGE: 400 SF
 TOTAL: 2424 SF

ALLEN & ANN HARTFORD

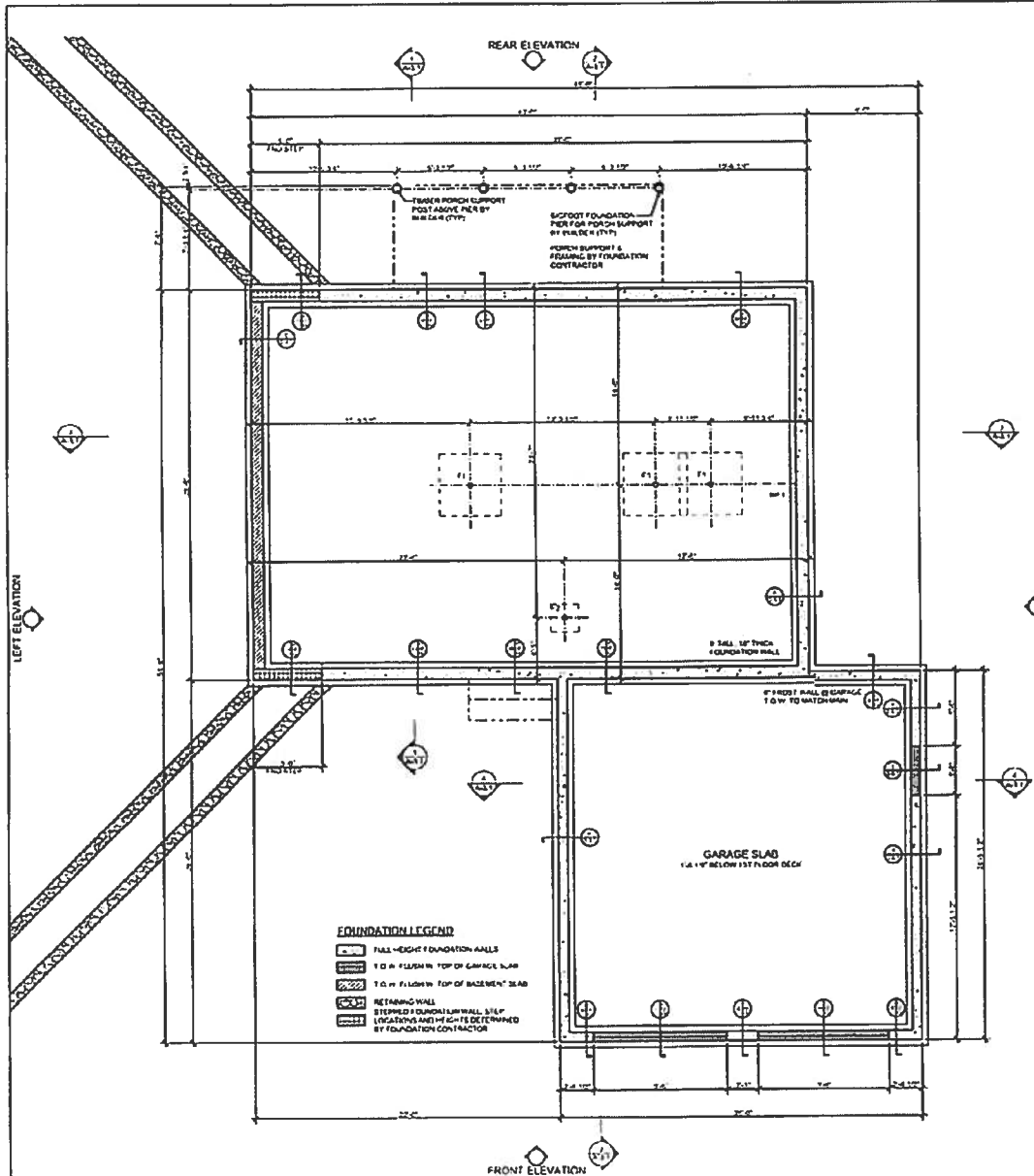
SPENCER ROAD
PLAINFIELD, NH

CONTRACT #
211910791

REV	DATE	DESCRIPTION	BY	CHKD
01	5/14/21	ISSUE ARCHITECTURAL PLANS	JP	CS
02	7/29/21	ADD SHEETS FOR ELECTRICAL AND PLUMBING	JP	MM
03	5/16/23	REVISIONS	JP	BT
04	3/2/23	REVISIONS	JP	BT
05	3/15/23	PROVIDE NEW	JP	MM
06	3/15/23	REVISIONS FOR ELECTRICAL AND PLUMBING	JP	BT
07	3/15/23	REVISIONS FOR ELECTRICAL AND PLUMBING	JP	BT
08	2/25/23	PROVIDE NEW SHEETS	JP	BT
09	3/12/23	PROVIDE NEW SHEETS	JP	BT
10	5/12/23	PROVIDE NEW SHEETS	JP	BT

CROSS SECTIONS

A-3.1
SHEET: 9



FOUNDATION NOTES

- FOUNDATION SECTION DIMENSIONS AND OR FOOTINGS ARE SHOWN TO END, CORNERS ETC.
- COLUMN FOOTING SIZES ARE BASED ON A MINIMUM SOIL BEARING CAPACITY OF 3000 PSI. ACTUAL SOIL CAPACITIES SHOULD BE DETERMINED PRIOR TO SETTING FORMS.
- BASEMENT FOUNDATION CONTRACTOR TO PROVIDE SCHED. AND/OR DETAILS OF FOUNDATION.
- GARAGE POCKET SIZES ARE BASED ON A DROPPED GARDE. FOR ADDITIONAL HEADROOM IN MAIN HOUSE SEE HAND BOOKS.
- LOCATION AND QUANTITIES OF BASEMENT WINDOWS, BUILT-IN CASES, ETC. MUST BE DETAILED ON DRAWING AND NOTED TO BE PER LOCAL CODE.
- SOIL TESTING REQUIRED UNDER ALL STRUCTURAL WALLS. SEE S-1.1 FLOOR DECK LAYOUT FOR DETAILS.
- IF IN-THE-CONCRETE PUMP IS USED, BUILDER MUST NOTIFY YANKEE BARN HOMES IMMEDIATELY OF ANY FOUNDATION ELEVATION CHANGES. ONCE THE FOUNDATION SYSTEM IS CHANGED COMPARED TO THESE PLANS AND DETAILS.
- QUANTITY OF HIGH STRENGTH CLAS TO BOTTOM OF GARAGE WALLS MUST BE AS SHOWN IN SPACE. IF CHANGES TO GRADE, ETC. CAN BE MADE ON EQUALS IN BUILDING, MAKE SURE TO UPDATE ALL PERMITS AND ALL LATERAL WALLS. BUT NOT LESS THAN 1/2\"/>

SEE PLAN FOR ALL OTHER FOUNDATION DETAILS AND CONNECTIONS TO EXISTING FOUNDATION.

FOOTING SCHEDULE				
LABEL	COLUMN SIZE	FOOTING SIZE	REMARKS/NOTES	NOTES
F1	4\"/>			

BEAM FOOTING		
LABEL	POCKET SIZE	NOTES
BP-1	4\"/>	

- FOUNDATION LEGEND**
- FULL HEIGHT FOUNDATION WALLS
 - 1/2\"/>



YANKEE BARN HOMES is a division of THE YANKEE BARN GROUP, INC. (YBGI). YBGI is a public company listed on the NYSE under the ticker symbol YBGI. YBGI is a leading provider of custom home building services in the Northeast United States. YBGI is a member of the National Association of Home Builders (NAHB). YBGI is a proud member of the United Way. YBGI is a proud member of the Red Cross. YBGI is a proud member of the Salvation Army. YBGI is a proud member of the American Red Cross. YBGI is a proud member of the American Heart Association. YBGI is a proud member of the American Lung Association. YBGI is a proud member of the American Cancer Society. YBGI is a proud member of the American Diabetes Association. YBGI is a proud member of the American Heart Association. YBGI is a proud member of the American Lung Association. YBGI is a proud member of the American Cancer Society. YBGI is a proud member of the American Diabetes Association.

PROPERTY OF YANKEE BARN HOMES
 131 Yankee Barn Road
 Lebanon, NH 03756
 (603) 256-9700
 www.yankeebarnhomes.com

FORMAL FOOTAGE	
FOOTING	11,275 SQ. FT.
FOUNDATION	5,212 SQ. FT.
TOTAL FOOTING	16,487 SQ. FT.
FOOTING	11,275 SQ. FT.
FOUNDATION	5,212 SQ. FT.
TOTAL FOOTING	16,487 SQ. FT.

ALLEN & ANN HARTFORD

SPENCER ROAD PLAINFIELD, NH

CONTRACT #: 201103P1

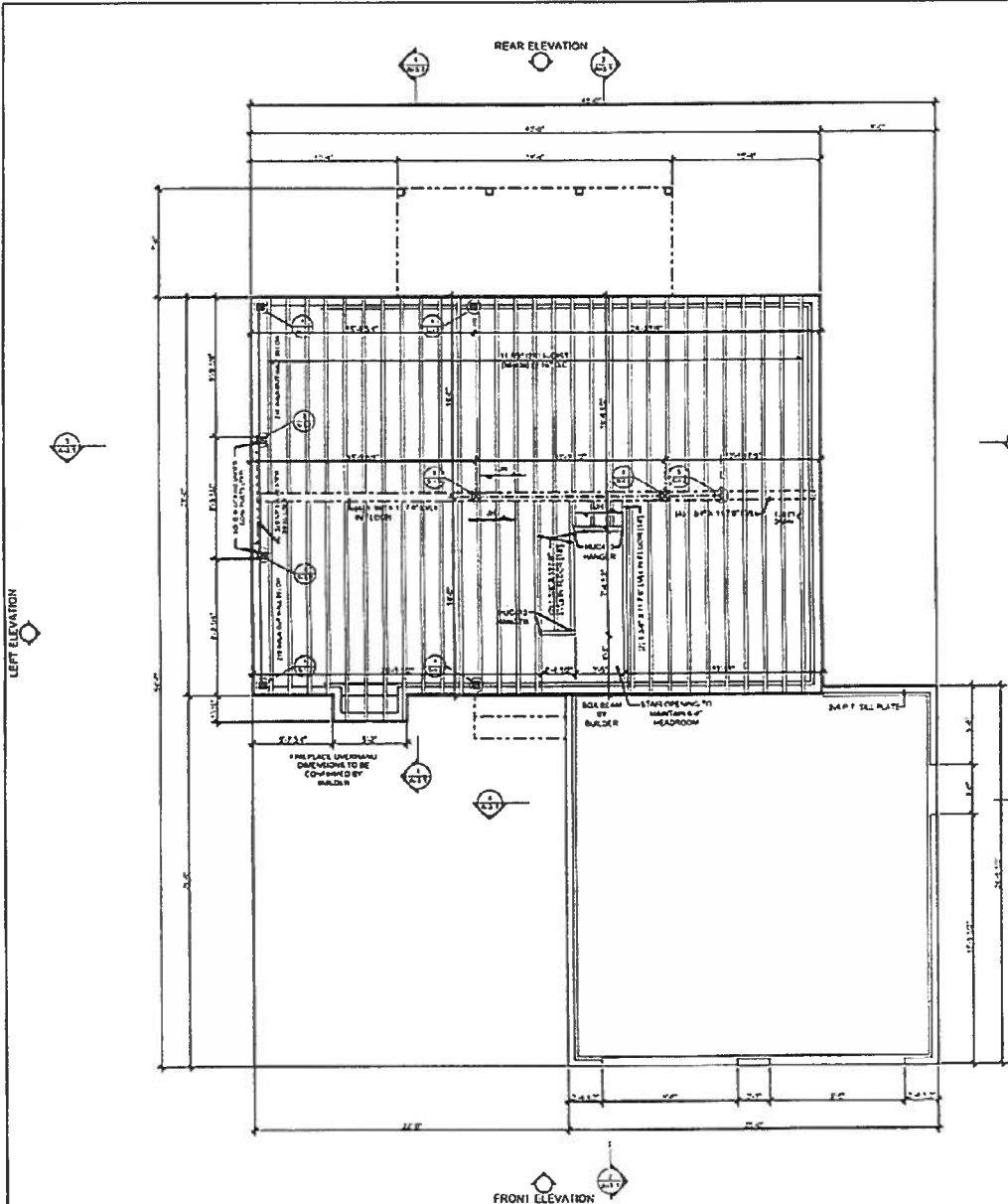
REV	DATE	DESCRIPTION
01	5/15/21	ISSUE FOR PERMITTING - 11/11/2021
02	7/20/21	ISSUE FOR PERMITTING - 11/11/2021
03	1/14/22	ISSUE FOR PERMITTING - 11/11/2021
04	5/21/22	ISSUE FOR PERMITTING - 11/11/2021
05	1/18/23	ISSUE FOR PERMITTING - 11/11/2021
06	1/18/23	ISSUE FOR PERMITTING - 11/11/2021
07	1/18/23	ISSUE FOR PERMITTING - 11/11/2021
08	1/18/23	ISSUE FOR PERMITTING - 11/11/2021
09	1/18/23	ISSUE FOR PERMITTING - 11/11/2021
10	1/18/23	ISSUE FOR PERMITTING - 11/11/2021
11	1/18/23	ISSUE FOR PERMITTING - 11/11/2021

FOUNDATION PLAN

S-1.1

SHEET: 10

FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"



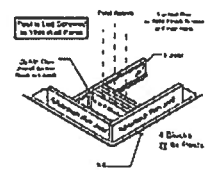
FIRST FLOOR DECK NOTES:

1. ALL JOISTS SHALL BE 2" X 8" OR 2" X 10" S4S, UNLESS OTHERWISE SPECIFIED WITH EACH JOIST.
2. ALL JOISTS SHALL BE 2" X 8" OR 2" X 10" S4S, UNLESS OTHERWISE SPECIFIED WITH EACH JOIST.
3. ALL JOISTS SHALL BE 2" X 8" OR 2" X 10" S4S, UNLESS OTHERWISE SPECIFIED WITH EACH JOIST.
4. FINISHING OF ALL STEEL BY BUILDER.
5. 1" X 4" OR 2" X 4" OR 2" X 6" LATHING SHALL BE USED IN ALL WALLS TO BE BUILT UP TO AND ABOVE THE FINISH GRADE AND SHALL BE SET IN PLACE BEFORE THE CONCRETE IS PLACED.
6. ALL JOISTS SHALL BE 2" X 8" OR 2" X 10" S4S, UNLESS OTHERWISE SPECIFIED WITH EACH JOIST.
7. ALL JOISTS SHALL BE 2" X 8" OR 2" X 10" S4S, UNLESS OTHERWISE SPECIFIED WITH EACH JOIST.
8. ALL JOISTS SHALL BE 2" X 8" OR 2" X 10" S4S, UNLESS OTHERWISE SPECIFIED WITH EACH JOIST.
9. ALL JOISTS SHALL BE 2" X 8" OR 2" X 10" S4S, UNLESS OTHERWISE SPECIFIED WITH EACH JOIST.
10. ALL JOISTS SHALL BE 2" X 8" OR 2" X 10" S4S, UNLESS OTHERWISE SPECIFIED WITH EACH JOIST.

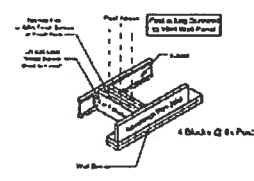
1. ALL JOISTS SHALL BE 2" X 8" OR 2" X 10" S4S, UNLESS OTHERWISE SPECIFIED WITH EACH JOIST.

2. ALL JOISTS SHALL BE 2" X 8" OR 2" X 10" S4S, UNLESS OTHERWISE SPECIFIED WITH EACH JOIST.

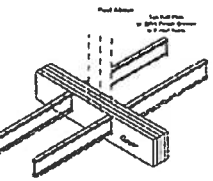
- 1. ALL JOISTS SHALL BE 2" X 8" OR 2" X 10" S4S, UNLESS OTHERWISE SPECIFIED WITH EACH JOIST.
- 2. ALL JOISTS SHALL BE 2" X 8" OR 2" X 10" S4S, UNLESS OTHERWISE SPECIFIED WITH EACH JOIST.
- 3. ALL JOISTS SHALL BE 2" X 8" OR 2" X 10" S4S, UNLESS OTHERWISE SPECIFIED WITH EACH JOIST.
- 4. ALL JOISTS SHALL BE 2" X 8" OR 2" X 10" S4S, UNLESS OTHERWISE SPECIFIED WITH EACH JOIST.
- 5. ALL JOISTS SHALL BE 2" X 8" OR 2" X 10" S4S, UNLESS OTHERWISE SPECIFIED WITH EACH JOIST.
- 6. ALL JOISTS SHALL BE 2" X 8" OR 2" X 10" S4S, UNLESS OTHERWISE SPECIFIED WITH EACH JOIST.
- 7. ALL JOISTS SHALL BE 2" X 8" OR 2" X 10" S4S, UNLESS OTHERWISE SPECIFIED WITH EACH JOIST.
- 8. ALL JOISTS SHALL BE 2" X 8" OR 2" X 10" S4S, UNLESS OTHERWISE SPECIFIED WITH EACH JOIST.
- 9. ALL JOISTS SHALL BE 2" X 8" OR 2" X 10" S4S, UNLESS OTHERWISE SPECIFIED WITH EACH JOIST.
- 10. ALL JOISTS SHALL BE 2" X 8" OR 2" X 10" S4S, UNLESS OTHERWISE SPECIFIED WITH EACH JOIST.



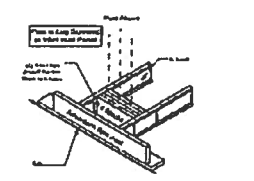
1 Corner Post



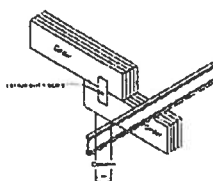
2 Gable Post



3 Interior Post Over Girder



4 Interior Post @ Foundation Wall



5 Interior Post

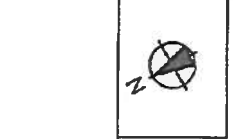
YANKEE BARN HOMES, INC. 111 YANKEE BARN BLVD. CHATHAM, NH 03523
TEL: 603-883-2100 FAX: 603-883-2101
WWW.YANKEEBARNHOMES.COM

PROPERTY OF YANKEE BARN HOMES
111 YANKEE BARN BLVD. CHATHAM, NH 03523
TEL: 603-883-2100 FAX: 603-883-2101
WWW.YANKEEBARNHOMES.COM

SQUARE FOOTAGE
FIRST FLOOR 1120 SF
SECOND FLOOR 1120 SF
TOTAL FLOOR AREA 2240 SF
GARAGE 1120 SF
TOTAL GARAGE AREA 1120 SF



SPENCER ROAD PLAINFIELD, NH



CONTRACT # 201912791

REV	DATE	DESCRIPTION
01	11/13/21	ISSUE FOR PERMITTING, 10% PLAN SET
02	11/13/21	ISSUE FOR PERMITTING, 20% PLAN SET
03	11/13/21	ISSUE FOR PERMITTING, 30% PLAN SET
04	11/13/21	ISSUE FOR PERMITTING, 40% PLAN SET
05	11/13/21	ISSUE FOR PERMITTING, 50% PLAN SET
06	11/13/21	ISSUE FOR PERMITTING, 60% PLAN SET
07	11/13/21	ISSUE FOR PERMITTING, 70% PLAN SET
08	11/13/21	ISSUE FOR PERMITTING, 80% PLAN SET
09	11/13/21	ISSUE FOR PERMITTING, 90% PLAN SET
10	11/13/21	ISSUE FOR PERMITTING, 100% PLAN SET

PAGE TITLE:

FIRST FLOOR DECK LAYOUT

S-1.2
SHEET 11

1 **FIRST FLOOR DECK LAYOUT**
SCALE: 1/4" = 1'-0"

REAR ELEVATION

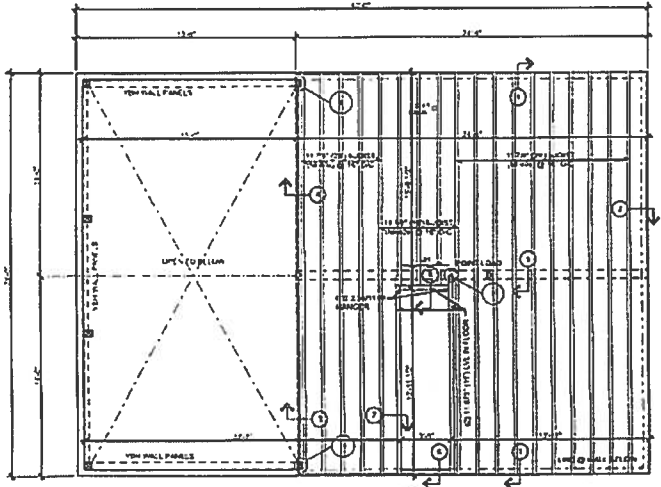


**ALL PAGE ONE BUILDING
NO DIMENSION SHEET FOR
LEADER ATTACHMENT**

**SECOND FLOOR DECK
IS PROVIDED BY YANKEE BARN HOMES
BUT SHALL BE INSTALLED BY THE
OWNER'S CONTRACTOR.**

**SEE PAGE ONE BUILDING
NO DIMENSION SHEET FOR
LEADER ATTACHMENT**

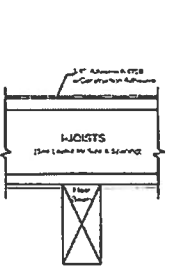
JOIST HANGER LOCATION #1'S 2" x 4" x 4" x 4"



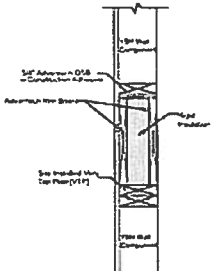
LEFT ELEVATION



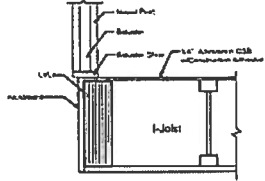
RIGHT ELEVATION



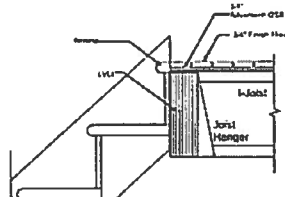
5 FLOOR BEAM



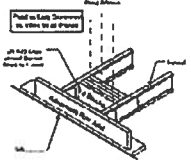
6 Box Beam



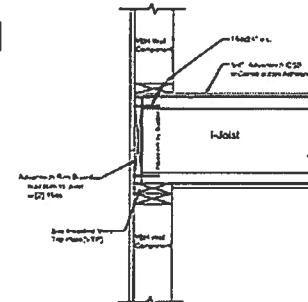
7 Cross Floor System @ Balcony



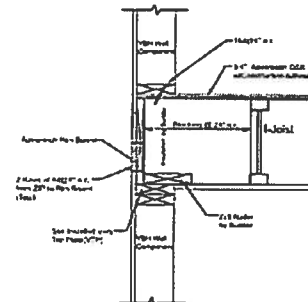
8 Top of Stairs



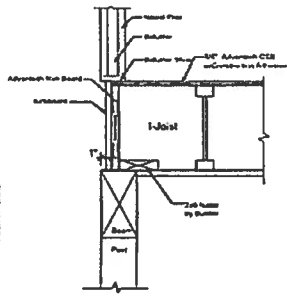
9 Wall Post



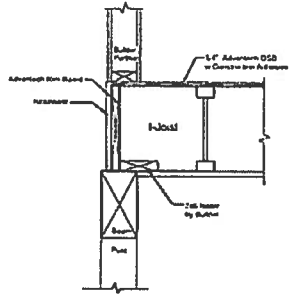
1 EXTERIOR WALL @ Eave



2 EXTERIOR WALL @ Gable



3 Cross Floor System @ Balcony w/ Frms



4 Cross Floor System @ Balcony w/ Frame

1 SECOND FLOOR DECK LAYOUT

SCALE: 1/4" = 1'-0"

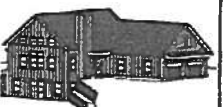
YANKEE BARN HOMES

Yankee Barn Homes is a registered contractor and is not responsible for any errors or omissions in these drawings. They are provided for information only and are not intended to be used for construction. All dimensions are shown in feet and inches. All materials shall be of the best quality. All work shall conform to the applicable building codes. All work shall be done in accordance with the approved drawings. All work shall be done in accordance with the applicable building codes. All work shall be done in accordance with the approved drawings.

PROPERTY OF YANKEE BARN HOMES
111 W. New Britain Road
Cheshire, CT 06112
Tel: 860.366.4742
Fax: 860.366.4743
www.yankeebarnhomes.com

NO.	DESCRIPTION	QTY	UNIT
1	2x10 JOIST	1175	EA
2	2x8 BEAM	147	EA
3	2x4 JOIST HANGER	1175	EA
4	2x4 JOIST HANGER	147	EA

ALLEN & ANN HARTFORD



SPENCER ROAD
PLAINFIELD, N.Y.



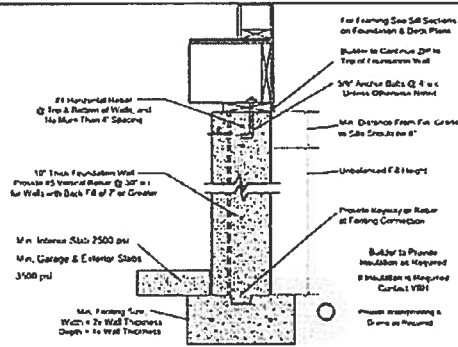
CONTRACT #
20191071

NO.	DATE	DESCRIPTION	BY	CHK.
01	6/15/21	ISSUE PERMIT SETS FOR PERMIT	JH	CS
02	6/25/21	REVISION PERMIT SETS	JH	CS
03	7/15/21	ISSUE PERMIT SETS FOR PERMIT	JH	CS
04	8/10/21	ISSUE PERMIT SETS FOR PERMIT	JH	CS
05	8/15/21	ISSUE PERMIT SETS FOR PERMIT	JH	CS
06	8/20/21	ISSUE PERMIT SETS FOR PERMIT	JH	CS
07	8/25/21	ISSUE PERMIT SETS FOR PERMIT	JH	CS
08	8/30/21	ISSUE PERMIT SETS FOR PERMIT	JH	CS
09	9/5/21	ISSUE PERMIT SETS FOR PERMIT	JH	CS
10	9/10/21	ISSUE PERMIT SETS FOR PERMIT	JH	CS
11	9/15/21	ISSUE PERMIT SETS FOR PERMIT	JH	CS
12	9/20/21	ISSUE PERMIT SETS FOR PERMIT	JH	CS
13	9/25/21	ISSUE PERMIT SETS FOR PERMIT	JH	CS
14	9/30/21	ISSUE PERMIT SETS FOR PERMIT	JH	CS
15	10/5/21	ISSUE PERMIT SETS FOR PERMIT	JH	CS
16	10/10/21	ISSUE PERMIT SETS FOR PERMIT	JH	CS
17	10/15/21	ISSUE PERMIT SETS FOR PERMIT	JH	CS
18	10/20/21	ISSUE PERMIT SETS FOR PERMIT	JH	CS
19	10/25/21	ISSUE PERMIT SETS FOR PERMIT	JH	CS
20	10/30/21	ISSUE PERMIT SETS FOR PERMIT	JH	CS
21	11/5/21	ISSUE PERMIT SETS FOR PERMIT	JH	CS
22	11/10/21	ISSUE PERMIT SETS FOR PERMIT	JH	CS
23	11/15/21	ISSUE PERMIT SETS FOR PERMIT	JH	CS
24	11/20/21	ISSUE PERMIT SETS FOR PERMIT	JH	CS
25	11/25/21	ISSUE PERMIT SETS FOR PERMIT	JH	CS
26	12/1/21	ISSUE PERMIT SETS FOR PERMIT	JH	CS

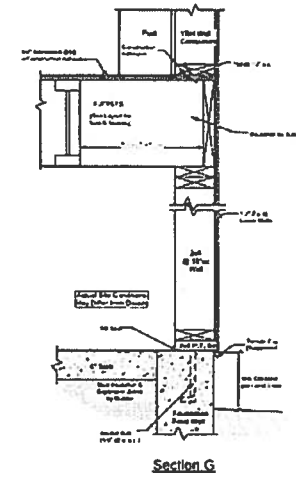
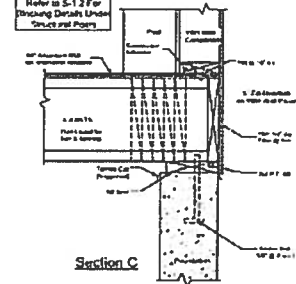
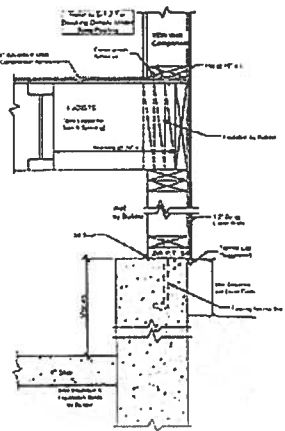
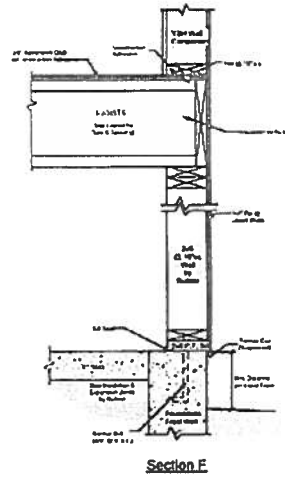
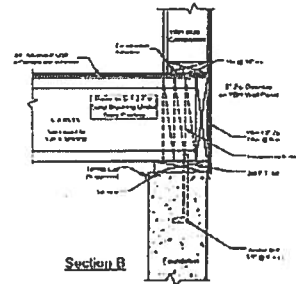
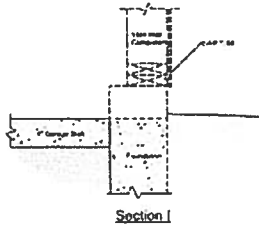
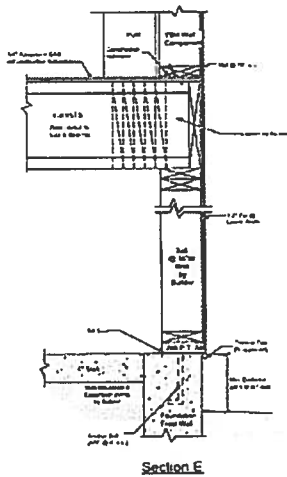
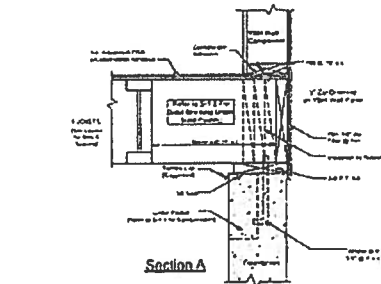
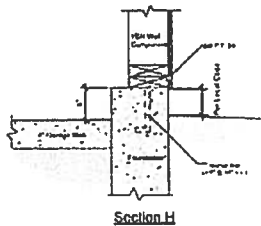
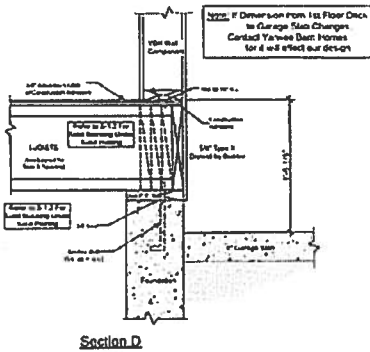
SECOND FLOOR DECK LAYOUT

S-1.3

SHEET 12



Typical Foundation Section



YANKEE BARN HOMES

These drawings are prepared in accordance with the provisions of the International Building Code, 2003 Edition, and the provisions of the International Residential Code, 2003 Edition, as amended. They are intended to be used in conjunction with the provisions of the International Building Code, 2003 Edition, and the provisions of the International Residential Code, 2003 Edition, as amended. The manufacturer reserves the right to make changes to these drawings without notice. The manufacturer is not responsible for any errors or omissions in these drawings. The manufacturer is not responsible for any damage or injury resulting from the use of these drawings. The manufacturer is not responsible for any damage or injury resulting from the use of these drawings.

PROPERTY OF YANKEE BARN HOMES
 811 Yankee Barn Road
 Plainfield, NJ 07054
 (908) 463-2400
 www.yankeebarnhomes.com

SQUARE FOOTAGE
 FLOOR: 1175 SF
 GARAGE: 475 SF
 TOTAL: 1650 SF

ALLEN & ANN HARTFORD

SPENCER ROAD
 PLAINFIELD, NJ

CONTRACT #: 201910151

81	8/16/21	REVISED DRAWING OF 10/17/20 201910151	JP	CS
80	7/29/21	FOUNDATION, GARAGE & ATTACHMENT WALLS, PLUMBING	JP	MLP
77	3/16/21	FOUNDATION	JP	MT
76	3/2/21	FOUNDATION	JP	MT
75	2/16/21	FOUNDATION	JP	MLP
74	3/10/21	REVISED FOUNDATION, PLUMBING, ELECTRICAL	JP	MT
73	3/12/21	REVISED FOUNDATION, PLUMBING, ELECTRICAL	JP	MT
72	3/25/21	REVISED FOUNDATION, PLUMBING, ELECTRICAL	JP	MT
71	3/12/21	FOUNDATION	JP	MT
70	1/10/21	FOUNDATION	JP	MT

REV: DATE: DESCRIPTION

PAGE TITLE: FOUNDATION DETAILS

S-5.1

SHEET 13

New Hampshire
Residential Energy Code Application
 for Certification of Compliance for New Construction, Additions and/or Renovations
 (EC-1 Form)

Minimum Provisions

Effective Date: April 1, 2010

Owner/Owner Builder: Company Name: (if applicable)			General Contractor: Company Name:		
Name: Allen E. Hartford, Jr.			Name: Bill Deane		
Mail Address: 447 Lowell St.			Mail Address: 27 Unity Rd		
Town/City: Methuen	State: MA	Zip: 01844	Town/City: Newport	State: NH	Zip: 03773
Phone: 978-835-8309	Cell: 978-835-8309		Phone:	Cell: 603-477-7735	
E-Mail: ahartford@comcast.net			E-Mail: billdeane.nh@gmail.com		
Location of Proposed Structure:			Type of Construction:		
Tax Map #: 260 Lot #: 3			<input checked="" type="checkbox"/> Residential <input type="checkbox"/> Small Commercial <input checked="" type="checkbox"/> New Building <input type="checkbox"/> Renovation <input type="checkbox"/> Addition <input type="checkbox"/> Thermally Isolated Sunroom <input type="checkbox"/> Modular Home: the site contractor must submit this form detailing supplementary rooms and Floor and/or Basement insulation unless the floor insulation is installed or provided by the manufacturer and no heated space is added.		
Street: Spencer Rd.			Total New Conditioned* Floor Area: 2747 sq ft		
Town/City: Plainfield, NH	County: Sullivan				
Zone 5 <input type="checkbox"/> Cheshire, Hillsborough, Rockingham or Strafford except the town of Durham that uses 2012 IECC Zone 6 <input checked="" type="checkbox"/> All other counties and the town of Durham			Basement or Crawl Space: (*a conditioned space is one being heated or cooled, containing un-insulated ducts or with a fixed opening into a conditioned space. Walls must be insulated) Conditioned? <input checked="" type="checkbox"/> Yes (Walls must be insulated) <input type="checkbox"/> No		
Heating System: (if new system is being installed) Annual Fuel Use Efficiency (AFUE): 93% Fuel Type(s): <input type="checkbox"/> Oil <input type="checkbox"/> Natural Gas <input checked="" type="checkbox"/> Propane (LP) <input type="checkbox"/> Electric <input type="checkbox"/> Wood <input type="checkbox"/> Other _____ Heating System Type: <input checked="" type="checkbox"/> Hot Water <input type="checkbox"/> Hot Air <input type="checkbox"/> Stove <input type="checkbox"/> Resistance <input type="checkbox"/> Heat Pump <input type="checkbox"/> Geothermal			<input checked="" type="checkbox"/> Full Basement <input type="checkbox"/> Walk Out Basement <input type="checkbox"/> Slab on Grade <input type="checkbox"/> Other		
Structure is EXEMPT because: <input type="checkbox"/> Mobile Home <input type="checkbox"/> On an historic register <input type="checkbox"/> Low energy use (less than 1 wat/ ft ²)			Form Submitted by: <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Builder <input type="checkbox"/> Designer <input type="checkbox"/> Other _____ Architects must certify plans meet code; no form required		

(revised 10/30/13)

I hereby certify that all the information contained in this application is true and correct, and construction shall comply in all respects with the terms and specifications of the approval given by the Public Utilities Commission and with the New Hampshire Code for Energy Conservation in New Building Construction.

Signature Allen E. Hartford, Jr. Print Name Allen E. Hartford, Jr. Date 8-30-2021

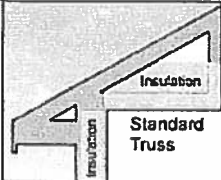
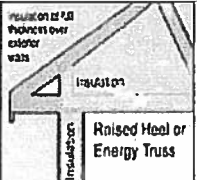
Official Use Only	
Date Complete Application Received:	Approved by: _____ Date: _____
Approval Number:	Stamp:
	Reason: <input type="checkbox"/> 1 <input type="checkbox"/> 2 <input type="checkbox"/> 3 <input type="checkbox"/> Other: _____ Expires: <input type="checkbox"/> 6 months <input type="checkbox"/> 1 year <input type="checkbox"/> 2 years: _____

New Hampshire Energy Code EC-1

Certification No.:

Directions: Complete the "Your Proposed Structure" columns. No measurements or calculations are needed. If you at least meet the New Hampshire Energy Code requirements, your project will be approved. Write N/A in any section that does not apply to your project. If your planned structure cannot meet these requirements, consider downloading REScheck from <http://www.energycodes.gov/rescheck/download.stm> and use trade-offs to prove compliance. Submit pages 1 and 2 only.

You are encouraged to build with higher R-values and lower U-values than you report here. The "Required R or U Values" are the worst permitted in NH.

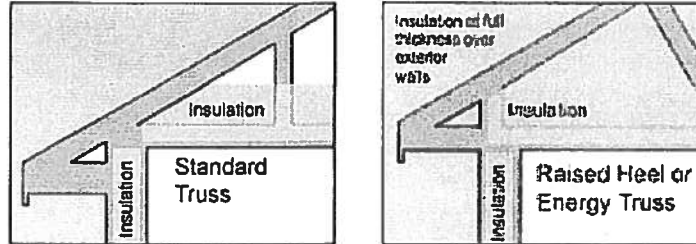
Building Section	Required R or U Values	YOUR PROPOSED STRUCTURE	
		Write Planned R and U Values	Brands / Models / insulation type and thickness (if known)
Window U Factor (lower U is better)	U .35 (maximum) U-.32 (if log walls in Zone 5) U-.30 (if log walls in Zone 6) U .50 (Thermally Isolated Sunrooms only)	Write in U-Value U .30	Check if <input type="checkbox"/> Sunroom <input type="checkbox"/> Log Walls
Skylights	U .60	N/A	
Flat Ceilingⁱ <i>or</i> Flat Ceiling with Raised or Energy Trusses R-value	 R-38 (Zone 5) R-49 (Zone 6) if using the above construction technique R-49 if log walls  R-30 (Zone 5) R-38 (Zone 6) if maintaining the full R value over the plates R-49 if log walls	Write in R-Value N/A → If using only R-30 in Zone 5 or R-38 in Zone 6 you must check this box	NOTE: R-38 will be deemed to satisfy the requirement for R-49 if the full R-38 insulation value is maintained over the outside plates. If using only R-30 (Zone 5) or R-38 (Zone 6), you must certify that you'll maintain R-38 over the plates by checking the box below. <input type="checkbox"/> By checking this box, I certify that this structure is being built with a raised energy truss or that the full R-value of the ceiling insulation will be maintained over the outside plates.
Sloped or Cathedral Ceiling	R-30 (Zone 5 & 6) or 38 if more than 500 ft sq or 20% of total ceiling area (Zone 6) R-24 (Thermally Isolated Sunrooms only)	Write in R-Value R - 55	Check if <input type="checkbox"/> Sunroom
Above Grade Wallⁱⁱ R-value	R-20 Cavity Insulation only <i>or</i> R-13 plus R-5 Cavity plus Continuous Insulation R-13 (Thermally Isolated Sunrooms only)	Write in R-Value R - 26	Log homes must comply with ICC400-2012, have an average minimum wall thickness of 5" or greater with specific gravity of ≤0.5 or 7" with specific gravity >0.5. Check if <input type="checkbox"/> Sunroom <input type="checkbox"/> Log Walls
Door U-Value	U .35 (maximum)	Write in U-Value U .35	
Floor R Value (Basement ceiling)	R-30 <i>or</i> Insulation sufficient to fill joist cavity	Write in R-Value R - 30	
Basement or Crawl Space Wall R Value	R-13 Cavity Insulation or R-10 Continuous Insulation (Zone 5) R-19 Cavity Insulation or R-15 Continuous Insulation (Zone 6)	Write in R-Value R - 22	If conditioning the basement you must insulate Basement Walls. If not, you may insulate either Floor or Basement Walls and/or Slab Edge
Slab Edgeⁱⁱⁱ R Value	R-10 2' (Zone 5) 4' (Zone 6) (see drawing pg 3) add R-5 if the Slab is heated or R-15 under entire heated slab if a log home.	Write in R-Value R - 10	Check if <input type="checkbox"/> Heated Slab
Air Sealing	Planned Air Sealing Test Method There are two approaches to demonstrating compliance with air sealing requirements.	<input type="checkbox"/> Blower Door <input checked="" type="checkbox"/> Visual Inspect	The visual inspection certification must be consistent with the requirements of Table 402.4.2 (page 4) and the method of compliance planned and approved by the local jurisdiction

Submit pages 1 and 2 to: NH Public Utilities Commission, 21 South Fruit Street STE 10, Concord NH 03301

Fax: 603.271.3878 E-mail: energycodes@puc.nh.gov

Footnotes to Residential Energy Code Application for Certification of Compliance

ⁱ Ceilings with attic spaces: R-30 in Zone 5 or R-38 in Zone 6 will be deemed to satisfy the requirement for R-38 or R-49 respectively wherever the full height of uncompressed R-30 or R-38 insulation extends over the wall top plate at the eaves or the full R-value is maintained. This is accomplished by using a raised heel or energy truss as shown in the diagram below or by using higher R-value insulation over the plates.

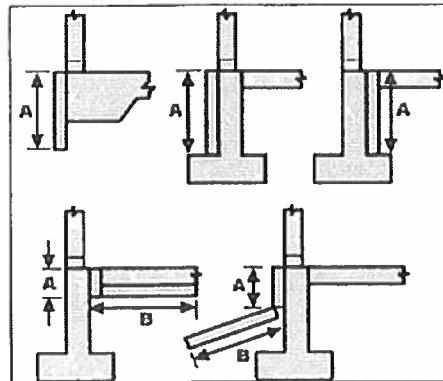


ⁱⁱ R-13 + R-5 means R-13 cavity insulation plus R-5 insulated sheathing. If structural sheathing covers 25 percent or less of the exterior, R-5 sheathing is not required where the structural sheathing is placed. If structural sheathing covers more than 25 percent of exterior, the structural sheathing must be supplemented with insulated sheathing of at least R-2.

ⁱⁱⁱ Slab edge insulation must start at the top of the slab edge and extend a total of two (Zone 5) or four feet (Zone 6). Insulation may go straight down, out at an angle away from the building, or along the slab edge and then under the slab. A slab is a concrete floor within 1' of grade level. See diagram below.

The top edge of insulation installed between the exterior wall and the interior slab may be mitered at a 45 degree angle away from the exterior wall.

Allowable Slab Insulation Configurations



A or A+ B must equal two feet in Zone 5 or four feet in Zone 6

MODULAR HOMES must be certified by the NH Department of Safety. Unless the floor insulation is provided by the manufacturer this form must be submitted. This form must also be submitted if the basement is to be insulated or supplementary heated space is added to the home upon or after it is set.

AIR BARRIER AND INSULATION INSPECTION COMPONENT CRITERIA
 Required Elements Check List (see page 2 AIR SEALING) IECC Code section 402.4.2
 This page must be provided to the building inspector at final inspection.

✓ Check here

Certification No.:

	Air barrier and thermal barrier	Exterior thermal envelope insulation for framed walls is installed in substantial contact and continuous alignment with building envelope air barrier.
		Breaks or joints in the air barrier are filled or repaired.
		Air-permeable insulation is not used as a sealing material.
		Air-permeable insulation is inside of an air barrier.
	Ceiling/attic	Air barrier in any dropped ceiling/soffit is substantially aligned with insulation and any gaps are sealed.
		Attic access (except unvented attic), knee wall door, or drop down stair is sealed.
	Walls	Corners and headers are insulated.
		Junction of foundation and sill plate is sealed.
	Windows and doors	Space between window/door jambs and framing is sealed.
	Rim joists	Rim joists are insulated and include an air barrier.
	Floors (including above-garage and cantilevered floors)	Insulation is installed to maintain permanent contact with underside of sub floor decking.
		Air barrier is installed at any exposed edge of insulation.
	Crawl space walls	Insulation is permanently attached to walls.
		Exposed earth in unvented crawl spaces is covered with Class I vapor retarder with overlapping joints taped.
	Shafts, penetrations	Duct shafts, utility penetrations, knee walls and flue shafts opening to exterior or unconditioned space are sealed.
	Narrow cavities	Batts in narrow cavities are cut to fit, or narrow cavities are filled by sprayed/blown.
	Garage separation	Air sealing is provided between the garage and conditioned spaces.
	Recessed lighting	Recessed light fixtures are air tight, IC rated, and sealed to drywall. Exception—fixtures in conditioned space.
	Plumbing and wiring	Insulation is placed between outside and pipes. Batt insulation is cut to fit around wiring and plumbing, or sprayed/blown insulation extends behind piping and wiring.
	Shower/tub on exterior wall	Showers and tubs on exterior walls have insulation and an air barrier separating them from the exterior wall.
	Electrical/phone box on exterior walls	Air barrier extends behind boxes or air sealed-type boxes are installed.
	Common wall	Air barrier is installed in common wall between dwelling units. HVAC register boots HVAC register boots that penetrate building envelope are sealed to sub-floor or drywall.
	Fireplace	Fireplace walls include an air barrier.

NEW HAMPSHIRE ENERGY CODE

**Summary of Basic Requirements See IECC 2009 Code Book for complete details
These 2 pages must be provided to the building inspector at final inspection or retained.**

✓ Check here

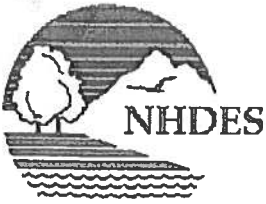
Certification No.:

	<p style="text-align: center;">Air Leakage Code section 402.4</p> <p>The building thermal envelope must be durably sealed to limit infiltration</p>	<p>All joints, seams, penetrations and openings in the thermal envelope including those around window and door assemblies, utility penetrations, dropped ceilings or chases, knee walls, behind tubs and showers, separating unheated garages from the thermal envelope, common walls between dwelling units, attic access, rim joist junction and all other openings in the building envelope that are sources of air leakage must be caulked, gasketed, weather-stripped or otherwise sealed.</p>
	<p style="text-align: center;">Air Sealing and Insulation Code Section 402.4.2</p>	<p>Building envelope air tightness and insulation installation shall be demonstrated to comply with requirements by Blower Door testing to less than 7 air changes/hr at 50 Pa or a visual inspection per page 4 of this document. The local Building Official may require an independent 3rd party to conduct the visual inspection. <u>See page 4.</u></p>
	<p style="text-align: center;">Testing Option Code Section 402.4.2.1</p> <p style="text-align: center;">or</p> <p style="text-align: center;">Visual Option Code Section 402.4.2.1</p>	<p>While the Blower Door Test and/or Visual Option are methods of demonstrating compliance many of the general requirements as defined by this checklist (pages 5 & 6) must still be met.</p> <p>Blower Door Test conducted by: _____</p> <p>Result (at 50 Pa): _____ CFM Interior Volume _____ CF _____ ACH</p> <p style="text-align: center;">OR</p> <p>Structure passes Visual Inspection: _____ signed _____ date</p>
	<p style="text-align: center;">Fireplaces Code Section 402.4.3</p>	<p>New wood-burning fireplaces shall have gasketed doors and outdoor combustion air.</p>
	<p style="text-align: center;">Recessed Lighting Code Section 402.4.5</p>	<p>Recessed lights must be type IC rated and labeled as meeting ASTM E 283 and sealed with a gasket or caulk between the housing and the interior wall or ceiling covering.</p>
	<p style="text-align: center;">Electrical Power and Lighting Systems Code section 404</p>	<p>A minimum of 50% of the lamps in permanently installed lighting fixtures shall be high efficacy lamps.</p>
	<p style="text-align: center;">High-Efficacy Lamps Code section 202</p>	<p>Compact fluorescent lamps, T-8 or smaller diameter linear fluorescent lamps, or lamps with a minimum efficacy of:</p> <ol style="list-style-type: none"> 1. 60 lumens per watt for lamps over 40 watts, 2. 50 lumens per watt for lamps over 15 watts to 40 watts, and 3. 40 lumens per watt for lamps 15 watts or less.
	<p style="text-align: center;">Materials and Insulation Information Code section 102.1</p>	<p>Materials and equipment must be identified so that code compliance can be determined. Manufacturer manuals for all installed heating, cooling and service water heating equipment must be provided. Insulation R-values, glazing and door U-values and heating and cooling equipment efficiency must be clearly marked on the building plans, drawings or specifications.</p>
	<p style="text-align: center;">Pull-Down Attic Stairs, Attic Hatch, and Knee Wall Doors Code section 402.2.3</p>	<p>Should be insulated to a level equal to the surrounding surfaces and tightly sealed and weather-stripped at the opening.</p>

	Full size Attic or Basement Entry Doors	All doors leading from a conditioned space into an unconditioned attic or enclosed attic or basement stairwell should be insulated and weather-stripped exterior rated door units. One door is exempt.
	Duct Insulation Code section 403.2	Supply ducts in attics must be insulated to at least R-8. All other ducts must be insulated to at least R-6. Exception: Ducts or portions thereof located completely inside the building thermal envelope.
	Duct Construction Code sections 403.2.2 &.3	Ducts, air handlers, filter boxes, and building cavities used as ducts must be sealed. Joints and seams must comply with Section M1601.4.1 of the <i>International Residential Code</i> . Building framing cavities must not be used as supply ducts.
	Duct Testing Code sections 403.2.2 &.3	Duct tightness shall be verified by testing unless the air handler and all ducts are located within the conditioned space. Test conducted by: _____ Duct test result at 25 Pa: _____ Post construction or _____ Rough-in test
	Temperature Controls Code section 403.1 & .1.1	At least one thermostat must be provided for each separate heating and cooling system. Hot air systems must be equipped with a programmable thermostat. Heat pumps having supplementary electric-resistance heat must have controls that, except during defrost, prevent supplemental heat operation when the heat pump compressor can meet the heating load
	Mechanical System Piping Insulation Code section 403.3	Mechanical system piping capable of conveying fluids at temperatures above 105°F or below 55°F must be insulated to R-3.
	Circulating Hot Water Systems Code section 403.4 & NH amendments	Circulating service water systems must include an automatic or readily accessible manual switch that can turn off the hot water circulating pump when the system is not in use. Circulating domestic hot water system piping shall be insulated to R-4.
	Mechanical Ventilation Code section 403.5	Outdoor air intakes and exhausts must have automatic or gravity dampers that close when the ventilation system is not operating.
	Equipment Sizing Code section 403.6	Heating and cooling equipment must be sized in accordance with Section M1401.3 of the <i>International Residential Code</i> .
	Certificate Code section 401.3	A permanent certificate, completed by the builder or registered design professional, must be posted on or in the electrical distribution panel. It must list the R-values of insulation installed in or on the ceiling, walls, foundation, and ducts outside the conditioned spaces; U-factors and SHGC for fenestration. The certificate must also list the type and efficiency of heating, cooling and service water heating equipment.

NEW HAMPSHIRE ENERGY CODE Summary of Basic Requirements Page 2

These 2 pages must be provided to the building inspector at final inspection or retained.



The State of New Hampshire
Department of Environmental Services



Robert R. Scott, Commissioner

APPLICATION FOR INDIVIDUAL SEWAGE DISPOSAL SYSTEM APPROVAL
OWNER CERTIFICATION

Application Work # 202103601

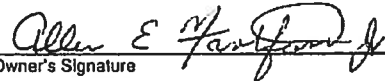
Document Prepared: 6/17/2021

Property Owner: ALLEN HARTFORD
3 PLUMBWOOD DRIVE
METHUEN MA 01844

Property Address: SPENCER ROAD
PLAINFIELD, NH

THE STATEMENT BELOW MUST BE SIGNED AND DATED BY THE OWNER

Pursuant to Env-Wq 1003.08, I certify that I am the present owner of the property referenced in this application and that I have seen the plans, and I hereby confirm that the plans are in accordance with my needs and desires. I fully understand that should this plan be approved, no waivers to the construction approval will be allowed and that any change(s) will require a new submission, review, and approval.

 6-22-2021
Owner's Signature Date

* Per Melissa @ NHDES on 7/21

• Approval # ECA 20210712

• July 12, 2021

Septic Design