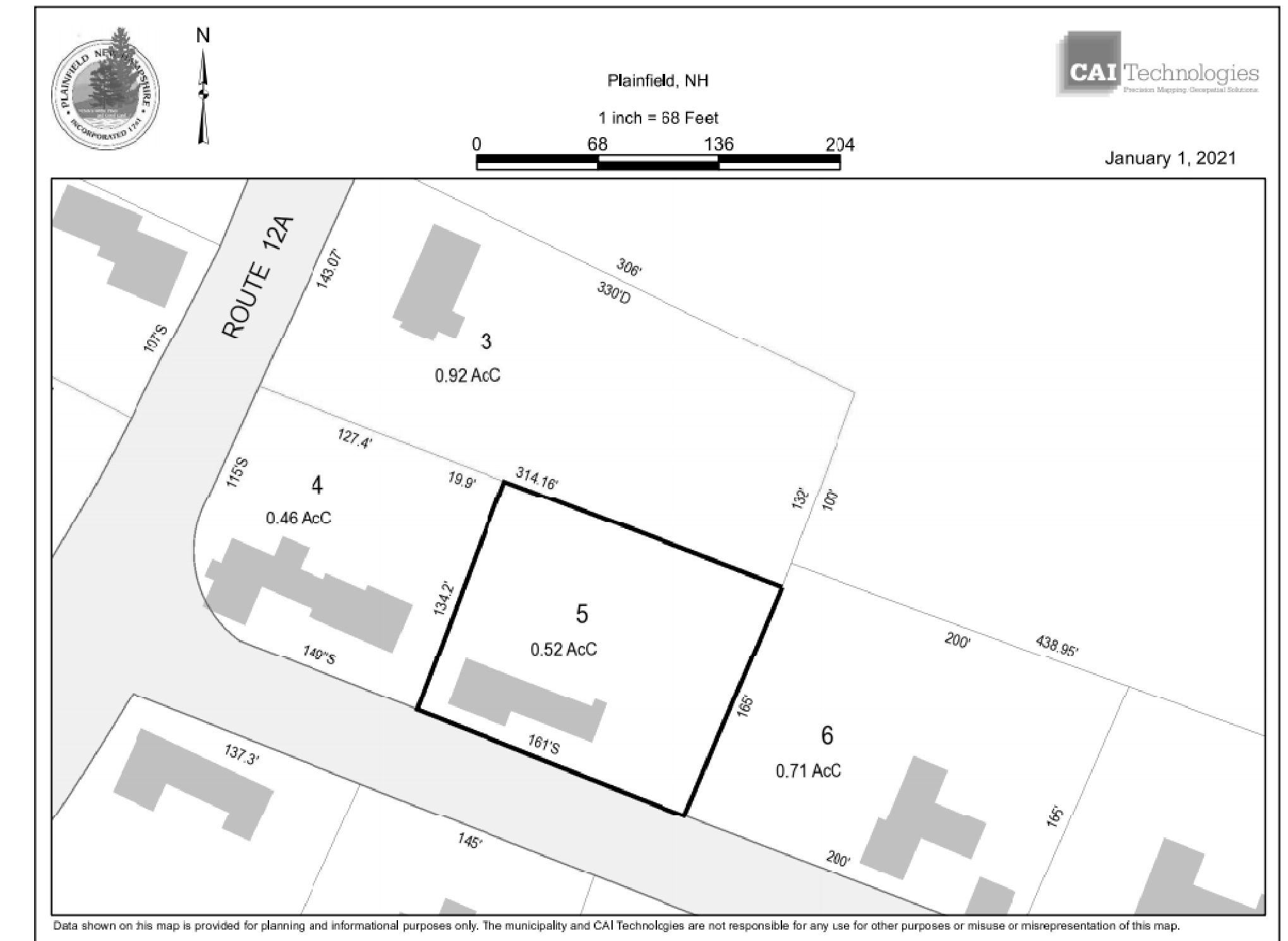


# 13 WESTGATE ROAD

## RESIDENTIAL ALTERATION AND ADDITION



### PROJECT SCOPE:

#### PHASE 1 - DEMOLITION / CUT BACK:

1. INTERIOR FINISH REMOVED TO FRAMING.
2. EXISTING INSULATION REMOVED.
3. EXISTING ELECTRICAL CUT BACK TO ENTRANCE PANEL.
4. EXISTING PLUMBING CUT BACK TO METER AND DRAIN EXIT
5. INTERIOR PARTITION FRAMING REMOVED
6. EXISTING KITCHEN AND BREEZEWAY STRUCTURES REMOVED TO GRADE

#### PHASE 2 - RENNOVATE & KITCHEN ADDITION;

1. JACK AND LEVEL EXISTING 26'X36' BUILDING
2. CONSTRUCT NEW 20'X26' SINGLE STOREY ADDITION ON FULL BASEMENT (ON EAST SIDE OF EXISTING CAPE).
3. INSTALL NEW INTERIOR PARTITIONS
4. INSTALL PLUMBING FOR NEW KITCHEN, FULL BATHS (2), AND HALF BATH.
5. INSTALL NEW ELECTRICAL SERVICE AND PREMIS WIRING.
6. INSTALL NEW MECHANICAL SYSTEMS INCLUDING ASHP, HRV, SWH, AND SPOT VENTILATORS.
7. INSULATE ENTIRE BUILDING (NEW AND EXISTING)
8. COMPLETE INTERIOR FINISH
9. PV SOLAR ON ROOF (STORAGE READY)

#### PHASE 3 - MASTER BEDROOM ADDITION;

1. TIMING AND CONSTRUCTION DETAILS TBD. (FUTURE PERMIT)

#### PHASE 4 - GARAGE AND CONNECTING BREEZEWAY;

1. TIMING AND CONSTRUCTION DETAILS TBD. (FUTURE PERMIT)

### DESIGN CRITERIA

BUILDING TYPE: SINGLE FAMILY RESIDENCE

PROJECT TYPE: LEVEL 3 ALTERATION AND NEW CONSTRUCTION

GOVERNING REGULATIONS;

TOWN OF PLAINFIELD ZONING ORDINANCE: VILLAGE RESIDENTIAL ZONE  
 BUILDING CODES AS ADOPTED BY THE TOWN OF PLAINFIELD AND THE STATE OF NEW HAMPSHIRE  
 SPECIFICALLY: IRC 2015, IEBC 2015, IECC 2015, NEC 2017, SAF-C 6000, WITH AMMENDMENTS

CLIMACTIC GEOGRAPHIC DESIGN CRITERIA;

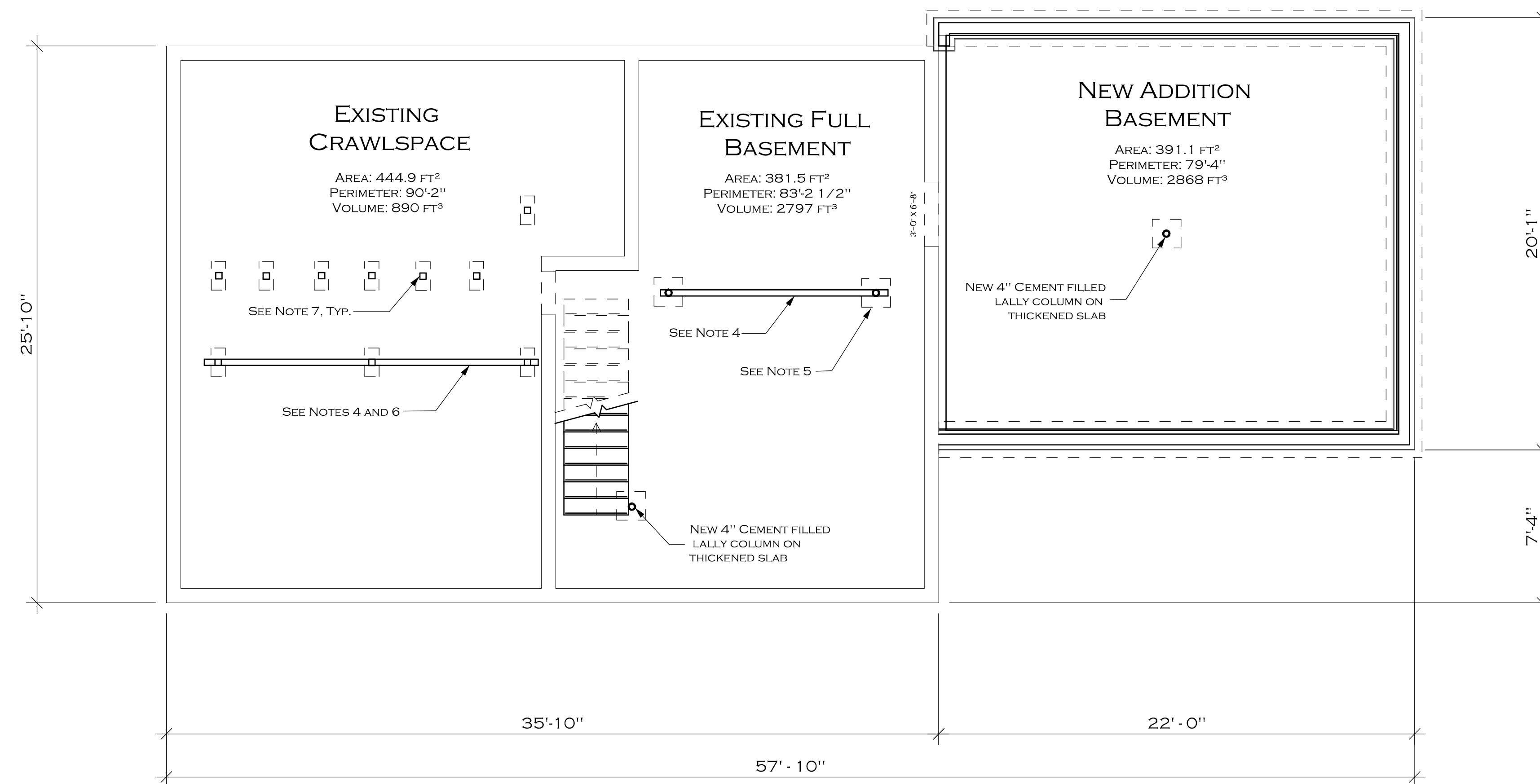
ELEVATION: ..... 514FT  
 GROUND SNOW LOAD: ..... 73.2 LBS  
 WIND DESIGN;  
 SPEED: ..... 115 MPH  
 TOPOGRAPHIC EFFECTS: ..... NONE  
 SPECIAL WIND REGION: ..... NO  
 WIND-BORNE DEBRIS ZONE: ..... NO  
 SEISMIC DESIGN CATEGORY: ..... B  
 SUBJECT TO DAMAGE FROM  
 WEATHERING: ..... SEVERE  
 FROST LINE DEPTH: ..... 48"  
 TERMITE: ..... NONE  
 WINTER DESIGN TEMP: ..... -5 DEG F  
 SUMMER DESIGN TEMP: ..... 75 DEG F  
 ICE BARRIER UNDERLAYMENT REQUIRED: ..... YES  
 FLOOD HAZARDS: ..... NONE  
 AIR FREEZING INDEX: ..... 2000  
 MEAN ANNUAL TEMPERATURE: ..... 43.58 DEG F

### CONTENTS:

SHEET NUMBER	DRAWING
X	COVER SHEET
A1	FOUNDATION PLAN
A2	FIRST FLOOR PLAN
A3	SECOND FLOOR PLAN
A4	ELEVATIONS
A6	STRUCTURAL SECTION - EXISTING CAPE
A7	STRUCTURAL SECTION - KITCHEN ADDITION
A8	ENERGY CODE COMPLIANCE - CAPE
A9	ENERGY CODE COMPLIANCE - ADDITION

**ATWATER CONSTRUCTION, INC.**

P. O. Box 15 PLAINFIELD, NH 03781 603-675-2121



**NOTES:**

- EXISTING "CRAWL SPACE" AREA 18" - 30" DIRT FLOOR SURFACE TO UNDERSIDE OF FIRST FLOOR TIMBER FRAMING. RUBBLE STONE WALL W/ EXTERIOR MASONRY PARING APPROXIMATELY 18" OF WALLS ABOVE GRADE. DEPTH OF WALLS BELOW GRADE UNKNOWN
- EXISTING "FULL" BASEMENT AREA 7'-4" PAD TOP / DIRT FLOOR TO UNDERSIDE OF 1ST FLOOR BEAMS. RUBBLE STONE WALL W/ EXTERIOR MASONRY PARING. SOME INTERIOR PARING. DIRT FLOOR W/ PAD FOR FURNACE.
- NEW ADDITION - FULL FOUNDATION. 8"x20" CONCRETE FOOTING. 6" NUDURA ICF WALL W/ MEMBRANE WATERPROOFING AND CEMENT BOARD W/ PARGE COAT FOR PROTECTION ABOVE GRADE. 4" SLAB FLOOR W/ VAPOR BARRIER
- 2 NEW 3.5" x 9.25" PSL BEAMS TO ADD SUPPORT TO FIRST FLOOR TIMBER JOISTS
- NEW BEAM IN FULL BASEMENT AREA SUPPORTED BY 4" CEMENT FILLED LALLY COLUMNS ON PRECAST CONCRETE BASES.
- NEW BEAM IN CRAWLSPACE SUPPORTED BY 3 4x4 PT POSTS ON 4"x8"x16" CINDER BLOCKS.
- EXISTING SUPPORT POSTS WILL BE REWORKED OR REPLACED. TBD.
- EXISTING BULKHEAD ON NORTH WALL (NOT SHOWN) WILL BE RE-WORKED OR RELOCATED. TBD.
- A NEW CONCRETE SLAB WILL BE POURED IN THE EXISTING BASEMENT AREA IF BUDGET ALLOWS.
- SEE DRAWING SHEETS A5, A6 AND A7 FOR ADDITIONAL STRUCTURAL INFORMATION.
- SEE DRAWING SHEETS A8 AND A9 FOR ENERGY CODE COMPLIANCE INFORMATION.

**GENERAL NOTES**

No.	REVISION /ISSUE	DATE
1.1	FOR KITCHEN DESIGN	8/10
1.2	FOR PERMIT	10/3

ORIENTATION	STAMP

ALL DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND THEY ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF THE DESIGNER  
 CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE DESIGNER

**Atwater Construction, Inc.**  
 1108 ROUTE 12A  
 PLAINFIELD, NH 03781  
 603-675-2121

PROJECT NAME:  
**RENOVATION**  
 13 WESTGATE RD.  
 PLAINFIELD

CLIENT:  
 ATWATER

DRAWING:  
 FOUNDATION FLOOR PLAN

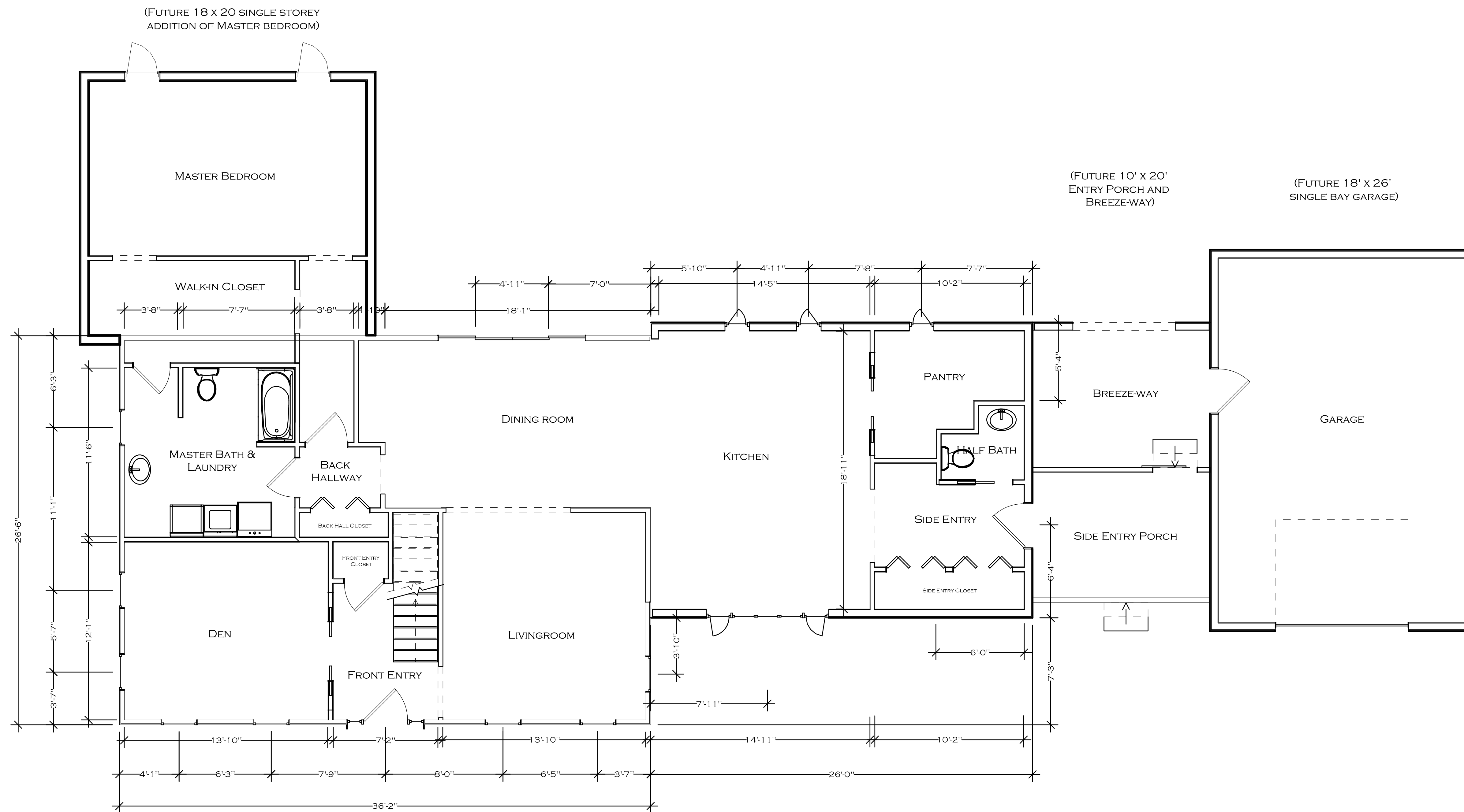
SCALE: 1/4" = 1'-0"    DATE: DECEMBER 2020

DRAWN BY: BA	SHEET: <b>A1</b>
CHECKED BY: #CHECKED BY	
APPROVED BY: #APPROVED BY	

GROUND FLOOR AND ADDITION ROOM SCHEDULE								
MARK	ROOM	AREA	PERIMETER	VOLUME	OPENING SF	NET WALL SF	TRIM LF	NOTES
A-1	FRONT ENTRY	49.9 FT <sup>2</sup>	32'-9"	399 FT <sup>3</sup>				
A-1	LIVING ROOM	194.7 FT <sup>2</sup>	55'-10"	1958 FT <sup>3</sup>				
A-1	DEN	167.4 FT <sup>2</sup>	51'-10"	1339 FT <sup>3</sup>				
A-1	DINING ROOM	218.5 FT <sup>2</sup>	62'-7"	1748 FT <sup>3</sup>				
A-1	BACK HALL CLOSET	9.7 FT <sup>2</sup>	15'-3"	78 FT <sup>3</sup>				
A-1	MASTER BATH / LAUNDRY	134.2 FT <sup>2</sup>	46'-6"	1074 FT <sup>3</sup>				
A-1	BACK HALLWAY	52.0 FT <sup>2</sup>	37'-2"	416 FT <sup>3</sup>				
A-1	FRONT HALL CLOSET	10.1 FT <sup>2</sup>	13'-1"	81 FT <sup>3</sup>				
A-1	KITCHEN	282.0 FT <sup>2</sup>	67'-8"	2256 FT <sup>3</sup>				
A-1	PANTRY	69.6 FT <sup>2</sup>	37'-11"	557 FT <sup>3</sup>				
A-1	HALF BATH	23.1 FT <sup>2</sup>	21'-3"	185 FT <sup>3</sup>				
A-1	SIDE ENTRY CLOSET	28.5 FT <sup>2</sup>	26'-0"	228 FT <sup>3</sup>				
A-1	SIDE ENTRY	65.1 FT <sup>2</sup>	35'-9"	520 FT <sup>3</sup>				

**NOTES:**

1. ALL GROUND FLOOR INTERIOR PARTITIONS WILL BE REMOVED AND NEW PARTITIONS CONSTRUCTED TO CREATE LAYOUT AS SHOWN.
2. EXISTING KITCHEN AND BREEZEWAY WILL BE REMOVED AND A NEW KITCHEN WILL BE CONSTRUCTED AS SHOWN
3. SEE DRAWING SHEETS A5, A6 AND A7 FOR STRUCTURAL INFORMATION.
4. SEE DRAWING SHEETS A8 AND A9 FOR ENERGY CODE COMPLIANCE INFORMATION.



GROUND FLOOR AND ADDITION WINDOW SCHEDULE								
MARK	SIZE	DESCRIPTION	U VALUE	INFIL RATE	SHGC	EGRESS	COUNT	NOTES
1	1'-8" X 4'-0"	1'-8" X 4'-0" CASEMENT WINDOW					1	
2	1'-8" X 4'-0"	1'-8" X 4'-0" CASEMENT WINDOW					1	
3	1'-8" X 4'-0"	1'-8" X 4'-0" CASEMENT WINDOW					1	
4	2'-6" X 4'-4"	EXISTING 2'-6" X 4'-4" DOUBLE HUNG WINDOW					8	
5	5'-0" X 4'-0"	4'-0" X 8'-0" MULLED FIXED WINDOW					1	

GROUND FLOOR DOOR SCHEDULE								
MARK	SIZE	JAMB	DESCRIPTION	R VALUE	INFILTRATION	HAND	HARDWARE	COUNT
1	4'-0" X 6'-8"		48" BI-FOLD DOOR					1
2	2'-8" X 6'-8"		32" HINGED DOOR - 6 PANEL					2
3	10'-0" X 6'-8"		60" DOUBLE PATIO SLIDING DOOR					1
4	3'-0" X 6'-8"		WESTGATE ENTRY DOOR					1
5	4'-0" X 6'-8"		48" POCKET DOOR					1
6	2'-6" X 6'-8"		30" HINGED DOOR - 6 PANEL					1
7	2'-10" X 6'-8"		34" HINGED DOOR - 6 PANEL					1

KITCHEN ADDITION DOOR SCHEDULE								
MARK	SIZE	JAMB	DESCRIPTION	R VALUE	INFILTRATION	HAND	HARDWARE	COUNT
1	3'-6" X 6'-8"		DOUBLE 21" POCKET					1
2	4'-0" X 6'-8"		48" BI-FOLD DOOR					2
3	3'-0" X 6'-8"		36" DECORATIVE ENTRY DOOR 2					1
4	2'-6" X 6'-8"		30" POCKET DOOR					1

**GENERAL NOTES**

NO.	REVISION / ISSUE	DATE
1.1	FOR KITCHEN DESIGN	8/10
1.2	FOR PERMIT	10/3

ORIENTATION	STAMP

ALL DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND THEY ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF THE DESIGNER.  
CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE DESIGNER

**Atwater Construction, Inc.**  
1108 ROUTE 12A  
PLAINFIELD, NH 03781  
603-675-2121

PROJECT NAME:  
**RENOVATION**  
13 WESTGATE RD.  
PLAINFIELD

CLIENT:  
**ATWATER**

DRAWING:  
**GROUND FLOOR PLAN**

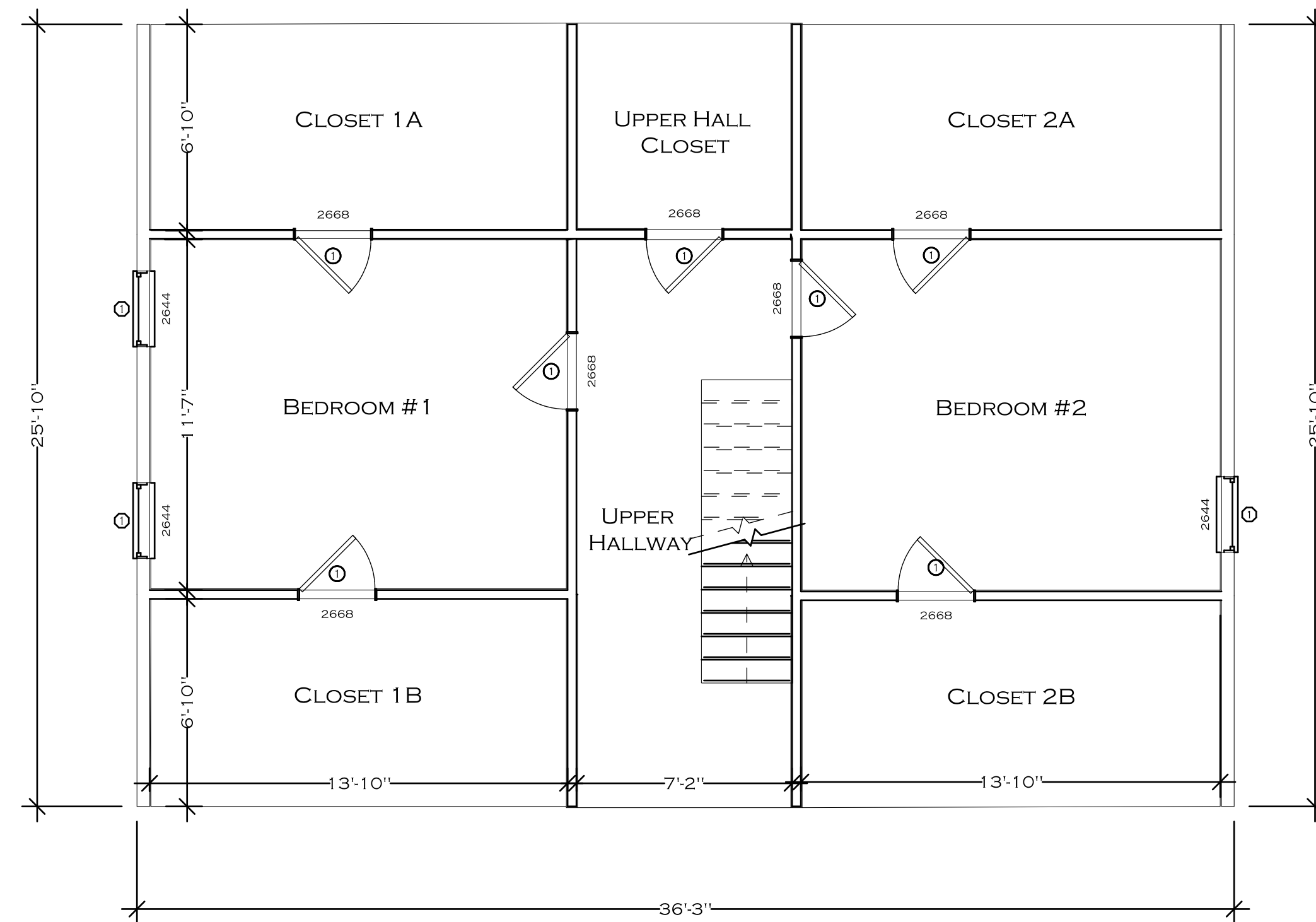
SCALE: 1/4" = 1'-0" DATE: DECEMBER 2020

DRAWN BY: BA SHEET:  
CHECKED BY: #CHECKED BY **A2**  
APPROVED BY: #APPROVED BY

SECOND FLOOR ROOM SCHEDULE								
MARK	ROOM	AREA	PERIMETER	VOLUME	OPENING SF	NET WALL SF	TRIM LF	NOTES
A-1	BEDROOM #1	161.5 FT <sup>2</sup>	51'-0"	1151 FT <sup>3</sup>				
A-2	BEDROOM #2	161.9 FT <sup>2</sup>	51'-1"	1153 FT <sup>3</sup>				
A-3	CLOSET 1B	94.2 FT <sup>2</sup>	41'-3"	671 FT <sup>3</sup>				
A-4	CLOSET 2B	94.3 FT <sup>2</sup>	41'-3"	672 FT <sup>3</sup>				
A-5	CLOSET 1A	93.9 FT <sup>2</sup>	41'-2"	669 FT <sup>3</sup>				
A-6	CLOSET 2A	94.4 FT <sup>2</sup>	41'-5"	673 FT <sup>3</sup>				
A-7	UPPER HALLWAY	103.7 FT <sup>2</sup>	57'-9"	739 FT <sup>3</sup>				
A-8	UPPER HALL CLOSET	48.3 FT <sup>2</sup>	27'-10"	344 FT <sup>3</sup>				

**NOTES:**

1. ALL SECOND FLOOR INTERIOR PARTITIONS WILL BE REMOVED AND NEW PARTITIONS CONSTRUCTED TO CREATE LAYOUT AS SHOWN.
2. SEE DRAWING SHEETS A5, A6 AND A7 FOR STRUCTURAL INFORMATION.
4. SEE DRAWING SHEETS A8 AND A9 FOR ENERGY CODE COMPLIANCE INFORMATION.



SECOND FLOOR DOOR SCHEDULE								
MARK	SIZE	JAMB	DESCRIPTION	R VALUE	INFILTRATION	HAND	HARDWARE	COUNT
1	2'-6" X 6'-8"		30" PANEL DOOR					7

SECOND FLOOR WINDOW SCHEDULE									
MARK	SIZE	DESCRIPTION	U VALUE	INFIL RATE	SHGC	EGRESS	COUNT	NOTES	
1	2'-6" X 4'-4"	EXISTING 2'-6" X 4'-4" DOUBLE HUNG WINDOW					3		

GENERAL NOTES

No.	REVISION/ISSUE	DATE
1.1	FOR KITCHEN DESIGN	8/10
1.2	FOR PERMIT	10/3

ORIENTATION	STAMP

ALL DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND THEY ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF THE DESIGNER. CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE DESIGNER.

**Atwater Construction, Inc.**  
 1108 ROUTE 12A  
 PLAINFIELD, NH 03781  
 603-675-2121

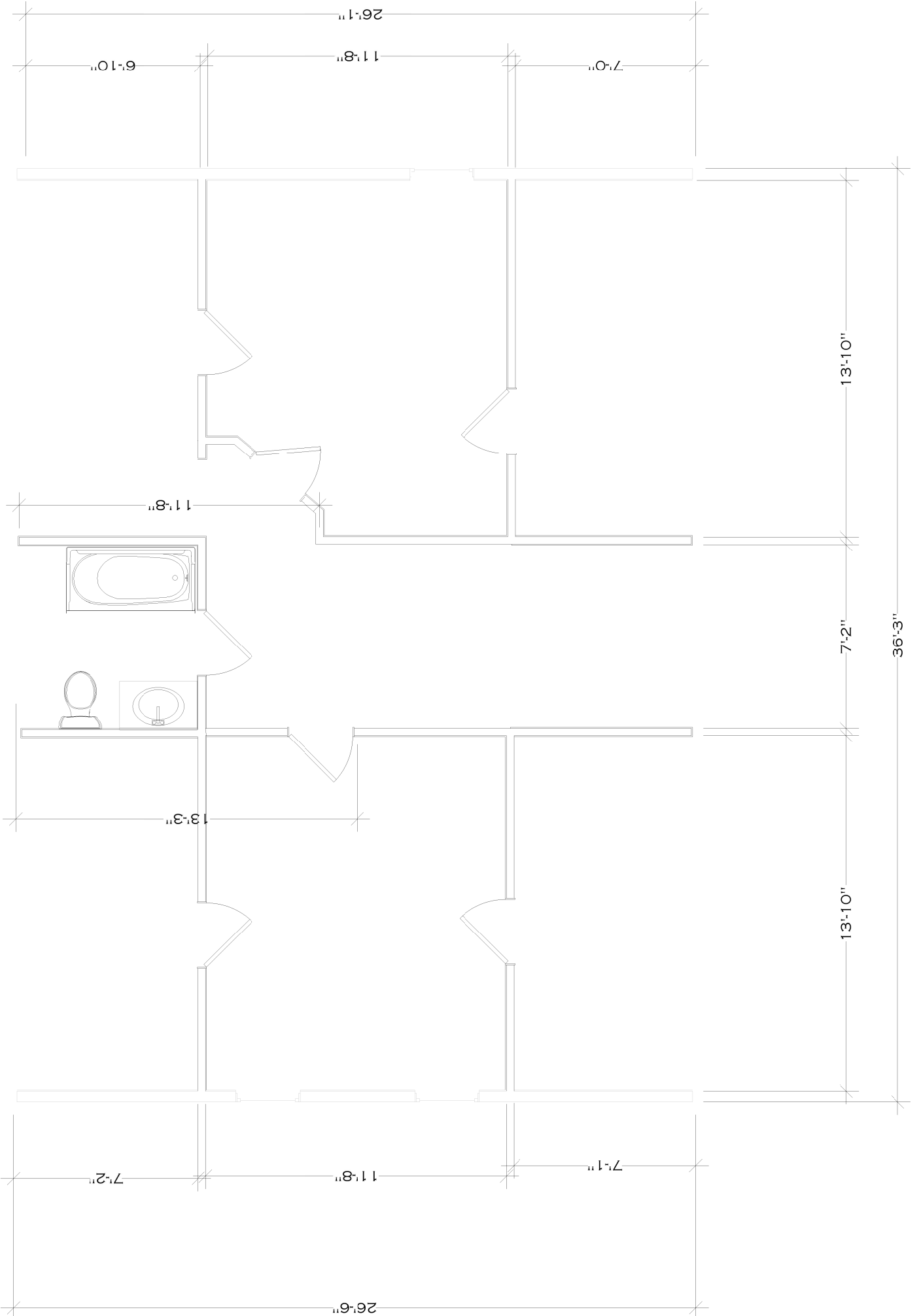
PROJECT NAME:  
**RENOVATION**  
 13 WESTGATE RD.  
 PLAINFIELD

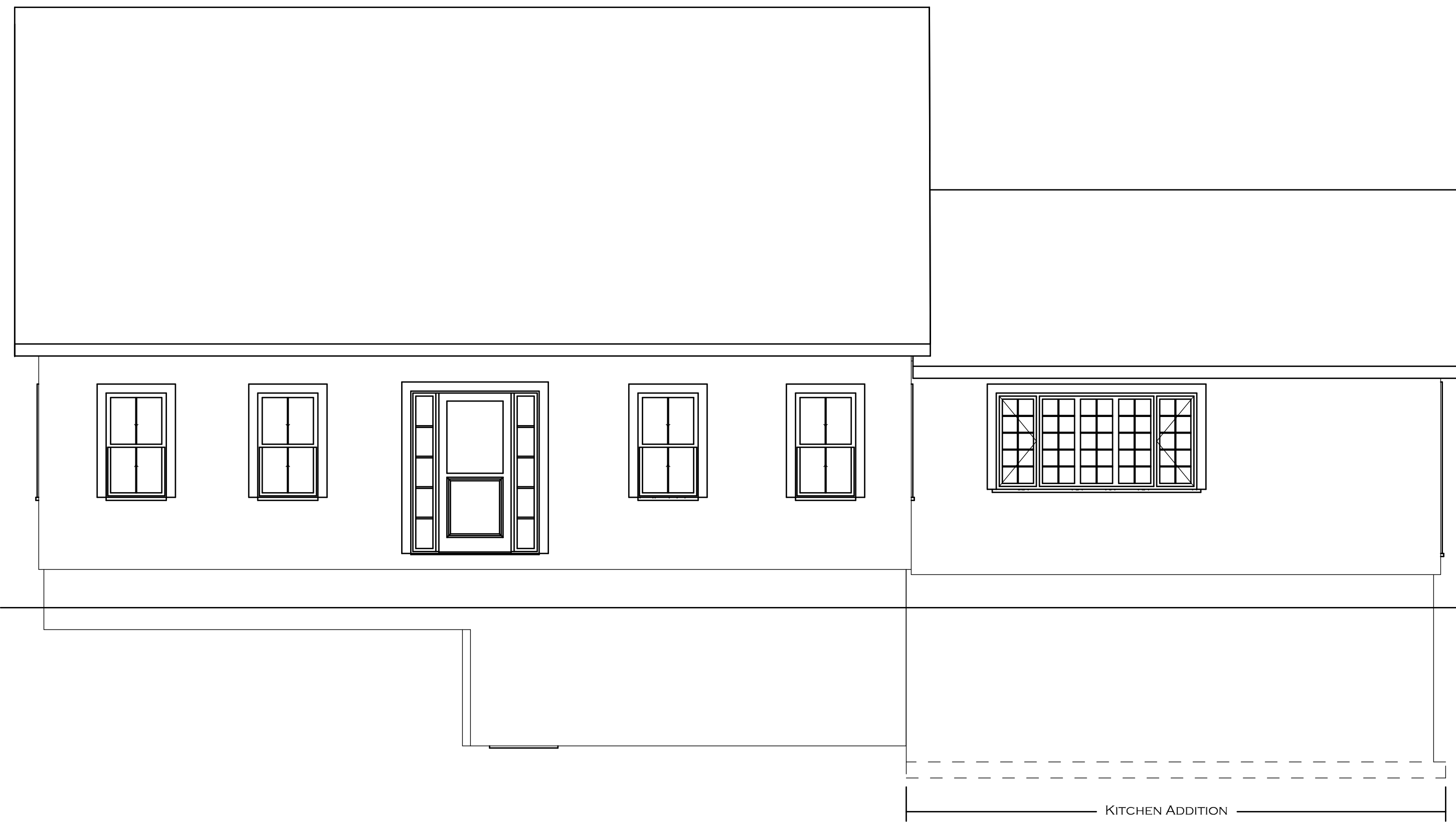
CLIENT:  
 ATWATER

DRAWING:  
**SECOND FLOOR PLAN**

SCALE: 1/4" = 1'-0"      DATE: DECEMBER 2020

DRAWN BY: BA	SHEET: <b>A3</b>
CHECKED BY: #CHECKED BY	
APPROVED BY: #APPROVED BY	

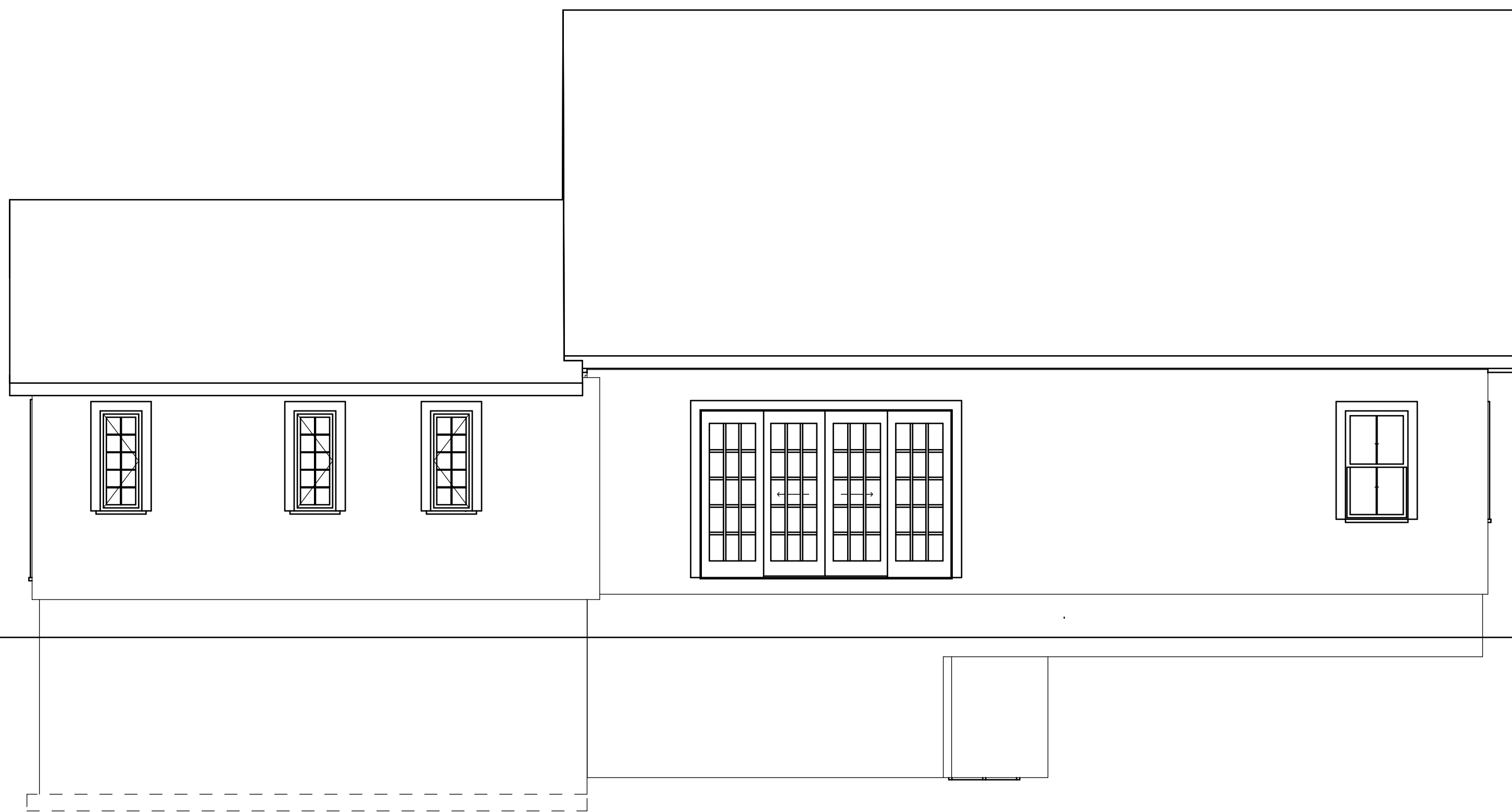




SOUTH ELEVATION



WEST ELEVATION



NORTH ELEVATION



EAST ELEVATION

- CAPE RIDGE  
24'-4 7/16"
- ADDITION RIDGE  
16'-9 3/8"
- 2ND FL FINISHED FLOOR: 8'-1 1/2"
- 1ST FL WALL HEIGHT: 8'-0"
- GROUND FLOOR: 0'-0"
- GROUND LEVEL: -2'-4"
- EXCAVATION DEPTH: -7'-0"  
9'-4" FROM TOP OF  
EXISTING FLOOR FRAMING

GENERAL NOTES

No.	REVISION/ISSUE	DATE
1.1	FOR KITCHEN DESIGN	8/10
1.2	FOR PERMIT	10/3

ORIENTATION	STAMP

ALL DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND THEY ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF THE DESIGNER  
CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE DESIGNER

**Atwater Construction, Inc.**  
1108 ROUTE 12A  
PLAINFIELD, NH 03781  
603-675-2121

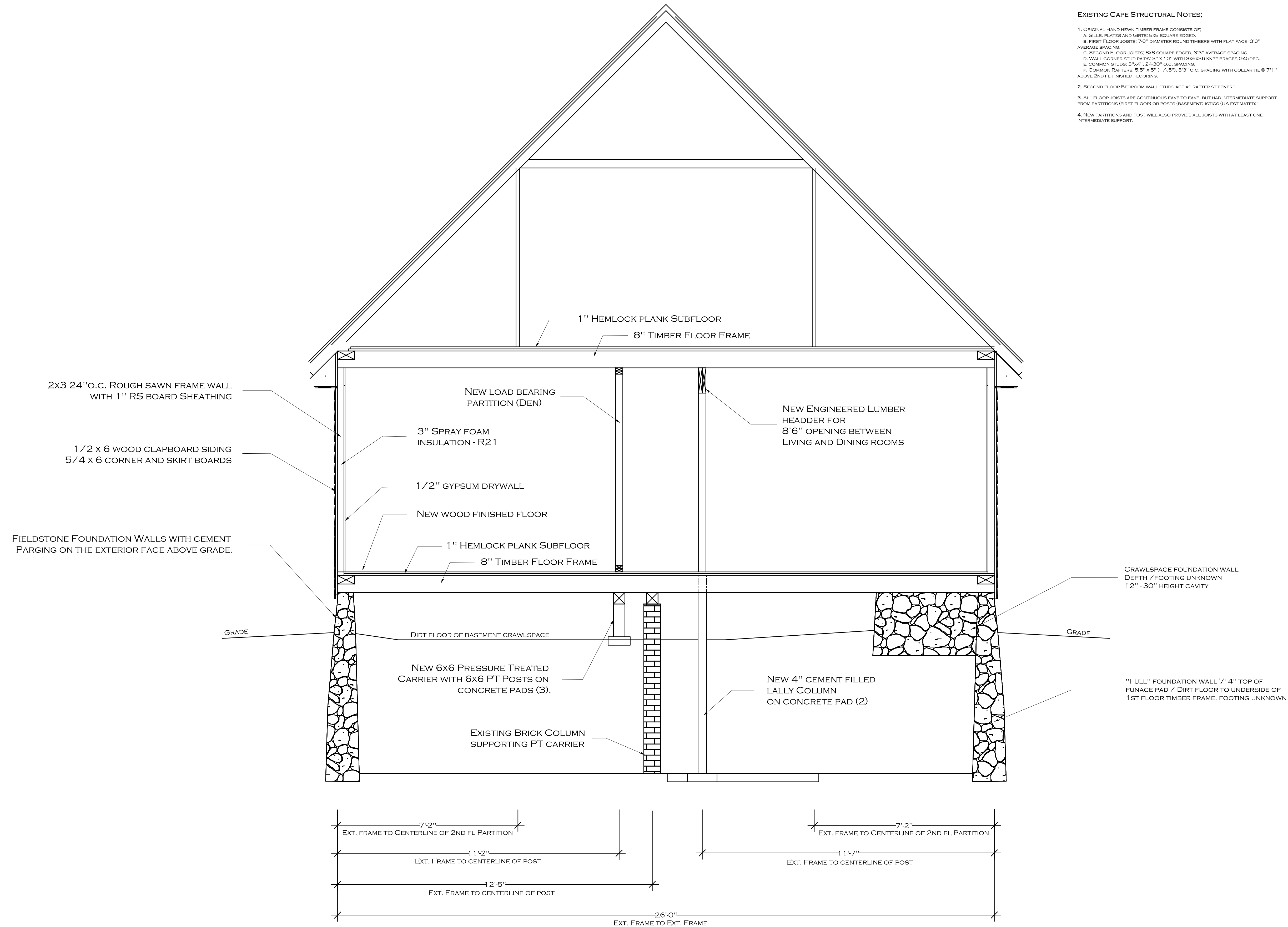
PROJECT NAME:  
**RENOVATION**  
13 WESTGATE RD.  
PLAINFIELD

CLIENT:  
ATWATER

DRAWING:  
ELEVATIONS

SCALE: 1/4" = 1'-0"    DATE: DECEMBER 2020

DRAWN BY: BA	SHEET: <b>A4</b>
CHECKED BY: #CHECKED BY	
APPROVED BY: #APPROVED BY	



- EXISTING CAPE STRUCTURAL NOTES:**
1. ORIGINAL HAND HEWN TIMBER FRAME CONSISTS OF:
    - A. SILLS, PLATES AND GIRTS: 8x8 SQUARE EGGED.
    - B. FIRST FLOOR JOISTS: 7"Ø QUARTER ROUND TIMBERS WITH FLAT FACE, 3'3" AVERAGE SPACING.
    - C. SECOND FLOOR JOISTS: 8x8 SQUARE EGGED, 3'3" AVERAGE SPACING.
    - D. WALL CORNER STUD PAIRS: 3" x 10" WITH 3x6x36 KNEE BRACES @45DEG.
    - E. COMMON STUDS: 3"x4", 24-30" O.C. SPACING.
    - F. COMMON RAFTERS: 5.5" x 8" (4'-8"), 3'3" O.C. SPACING WITH COLLAR TIE @ 7'1" ABOVE 2ND FL FINISHED FLOORING.
  2. SECOND FLOOR BEDROOM WALL STUDS ACT AS Rafter STIFFENERS.
  3. ALL FLOOR JOISTS ARE CONTINUOUS EAVE TO EAVE, BUT HAD INTERMEDIATE SUPPORT FROM PARTITIONS (FIRST FLOOR) OR POSTS (BASEMENT), (SIZES (I/A ESTIMATED)).
  4. NEW PARTITIONS AND POST WILL ALSO PROVIDE ALL JOISTS WITH AT LEAST ONE INTERMEDIATE SUPPORT.

**GENERAL NOTES**

No.	REVISION/ISSUE	DATE
1.1	FOR KITCHEN DESIGN	8/10
1.2	FOR PERMIT	10/3

ORIENTATION	STAMP

ALL DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND THEY ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF THE DESIGNER  
 CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE DESIGNER

**Atwater Construction, Inc.**  
 1108 ROUTE 12A  
 PLAINFIELD, NH 03781  
 603-675-2121

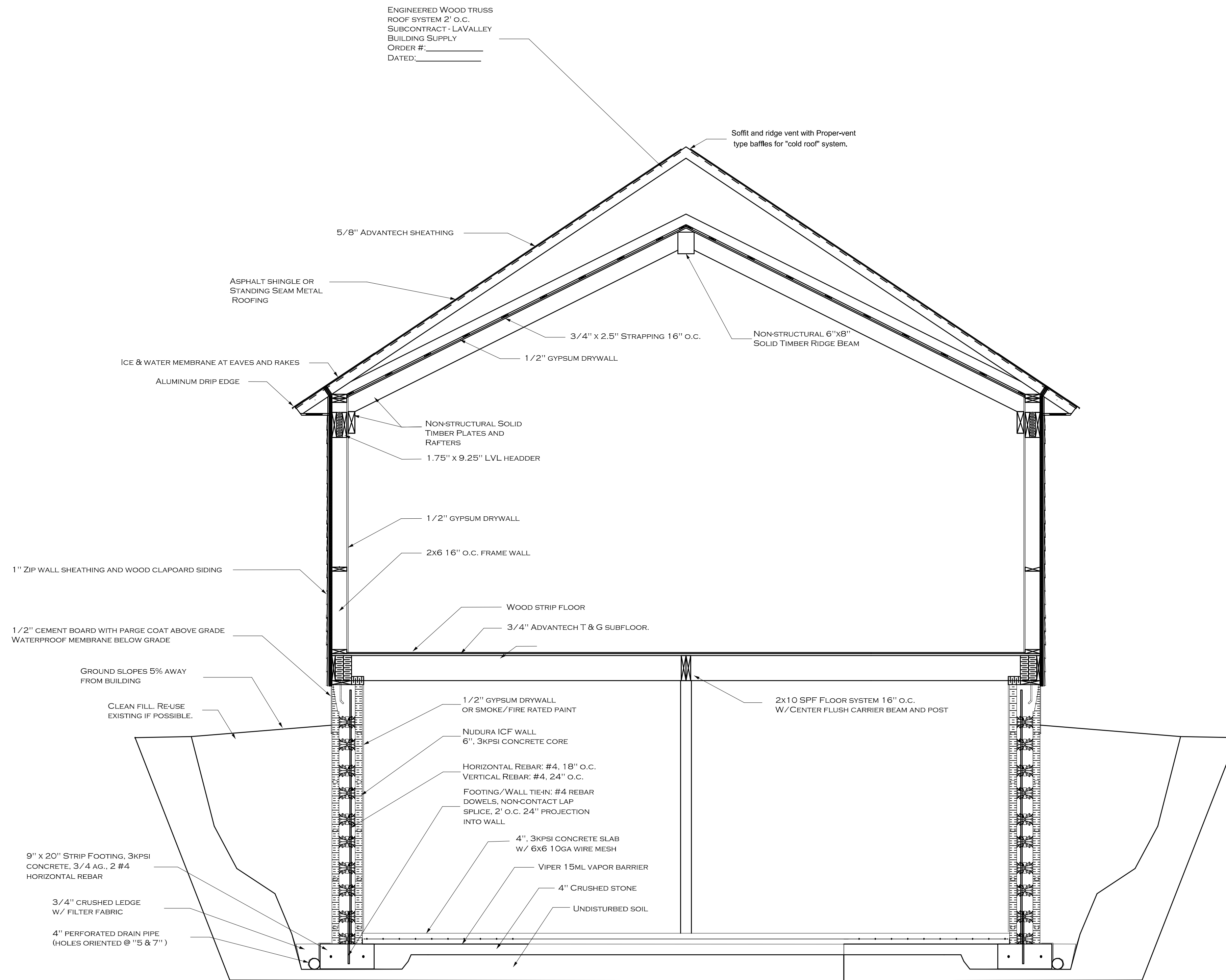
PROJECT NAME:  
**13 WESTGATE RD.**  
 13 WESTGATE RD.  
 PLAINFIELD

CLIENT:  
**ATWATER**

DRAWING:  
**STRUCTURAL SECTION**  
 EXISTING CAPE

SCALE: 1/2" = 1'-0"    DATE: DECEMBER 2020

DRAWN BY: BA	SHEET: <b>A6</b>
CHECKED BY: #CHECKED BY	
APPROVED BY: #APPROVED BY	



GENERAL NOTES

No.	REVISION/ISSUE	DATE
1.1	FOR KITCHEN DESIGN	8/10
1.2	FOR PERMIT	10/3

ORIENTATION	STAMP

ALL DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND THEY ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF THE DESIGNER  
CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE DESIGNER

**Atwater Construction, Inc.**  
1108 ROUTE 12A  
PLAINFIELD, NH 03781  
603-675-2121

PROJECT NAME:  
**RENOVATION  
13 WESTGATE RD.  
PLAINFIELD**

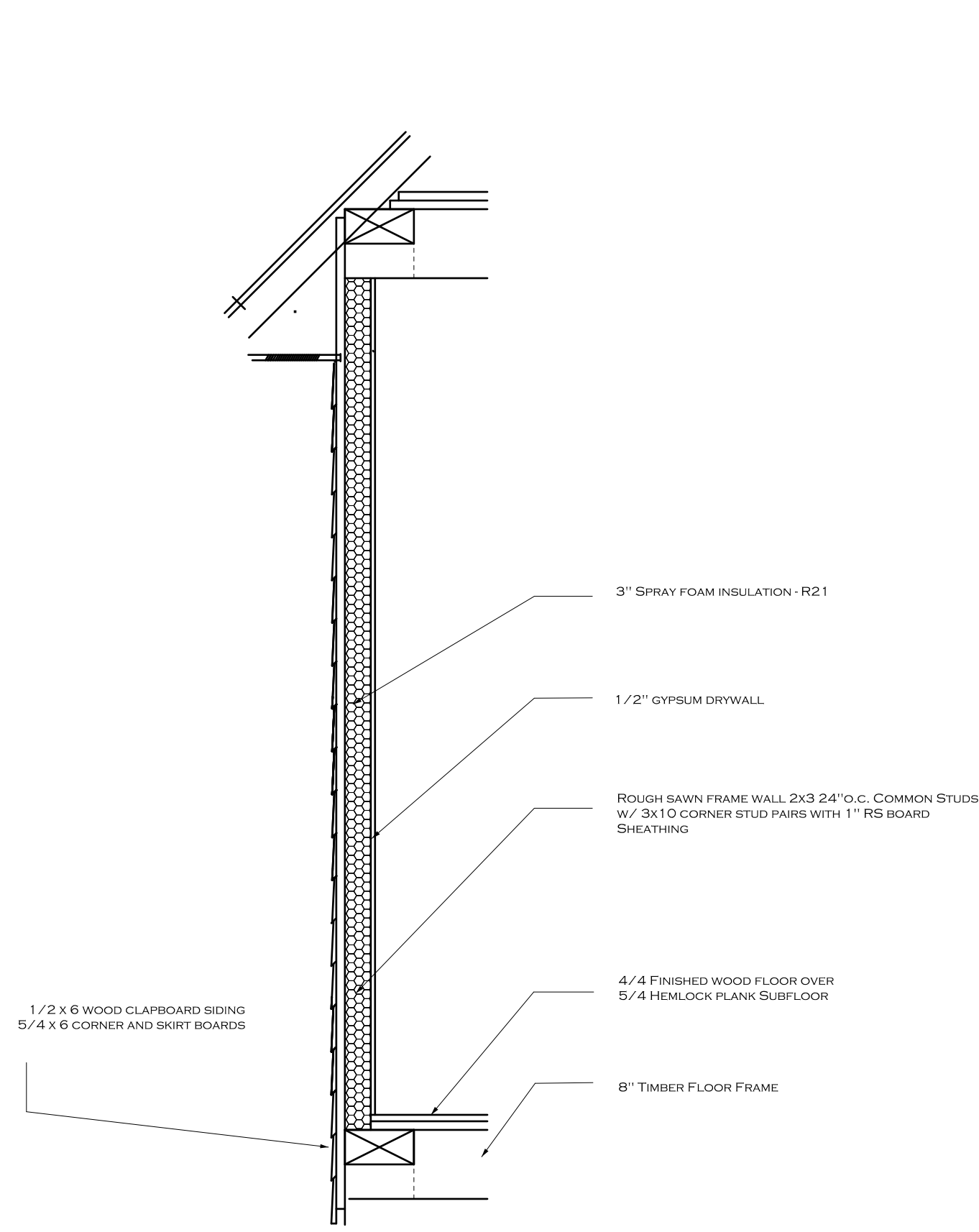
CLIENT:  
**ATWATER**

DRAWING:  
**STRUCTURAL SECTIONS  
ADDITION**

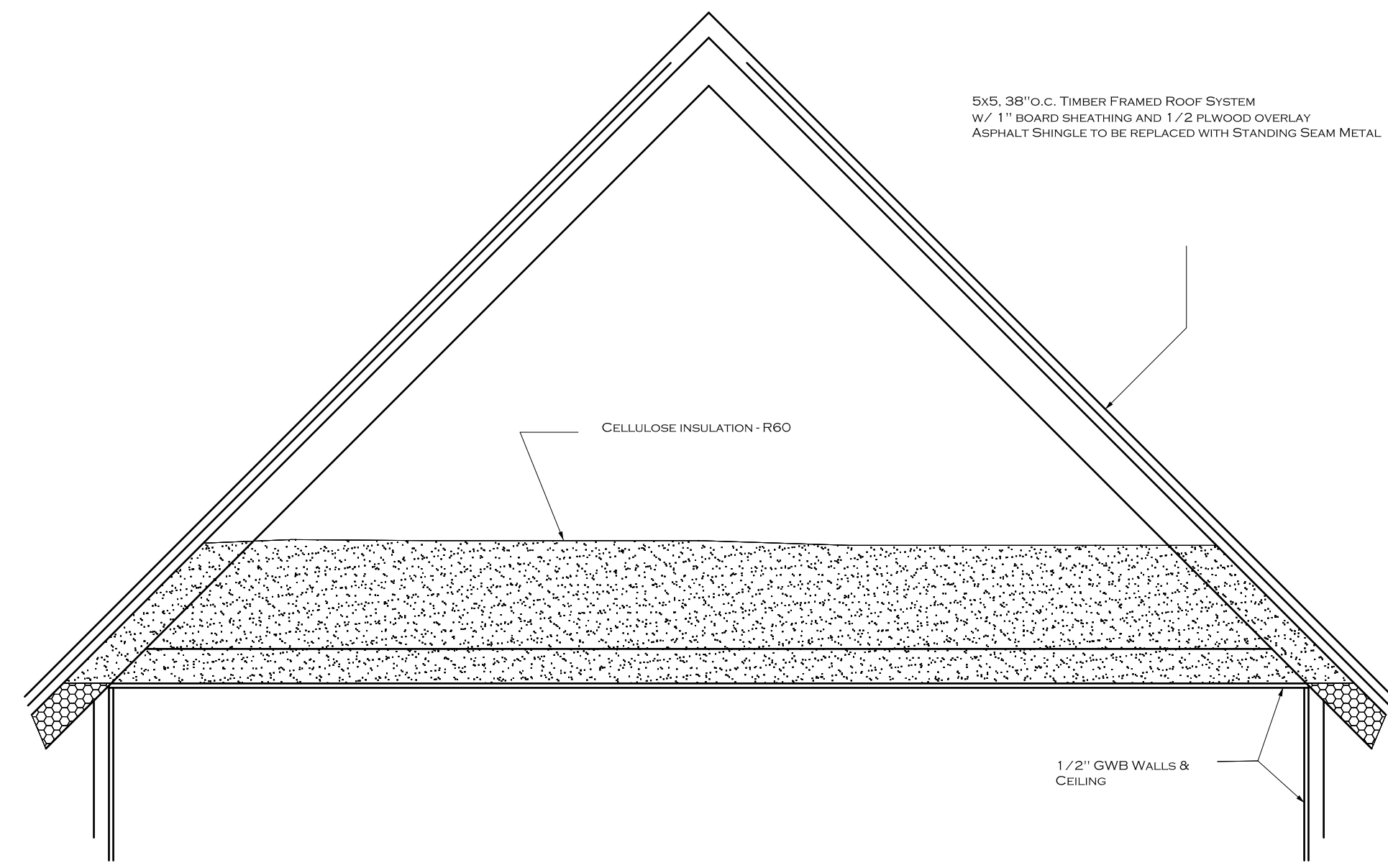
SCALE: 1/2" = 1'-0"    DATE: DECEMBER 2020

DRAWN BY: BA	SHEET: <b>A7</b>
CHECKED BY: #CHECKED BY	
APPROVED BY: #APPROVED BY	

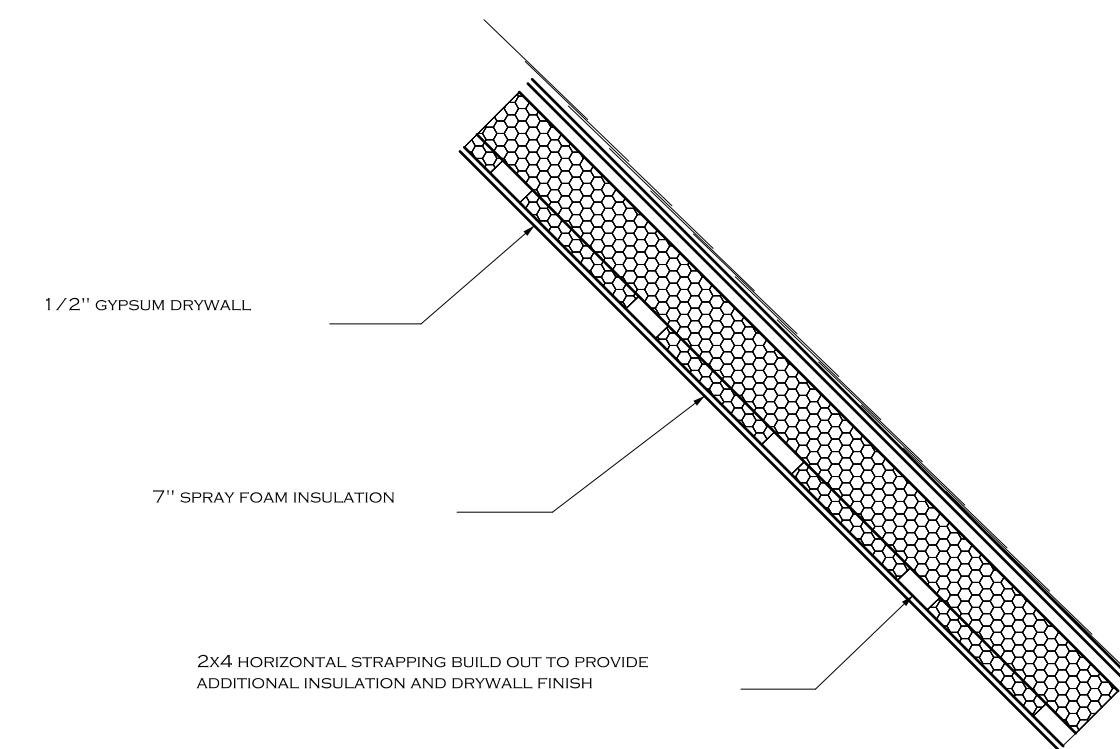




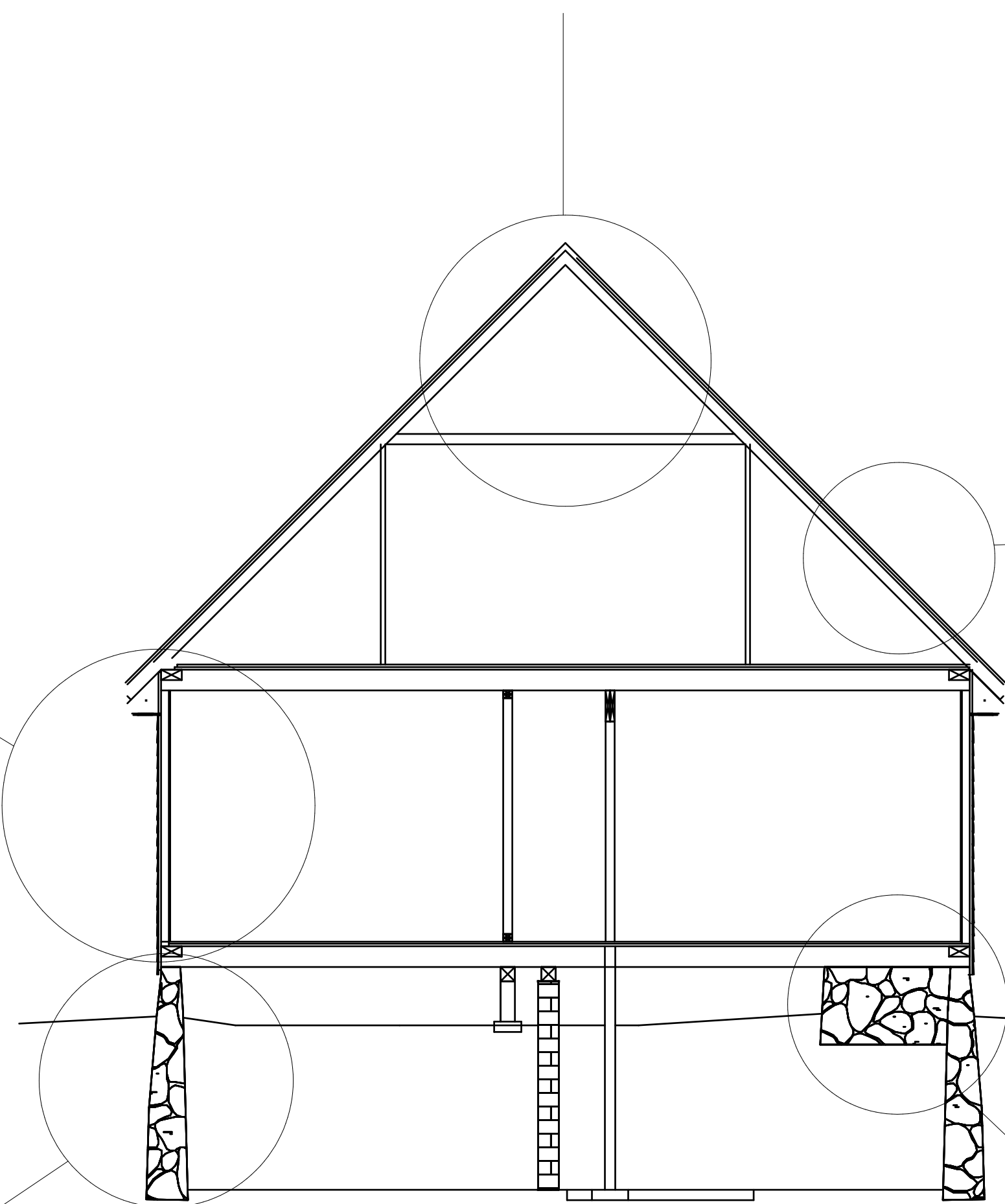
WALL INSULATION DETAIL  
EXISTING CAPE



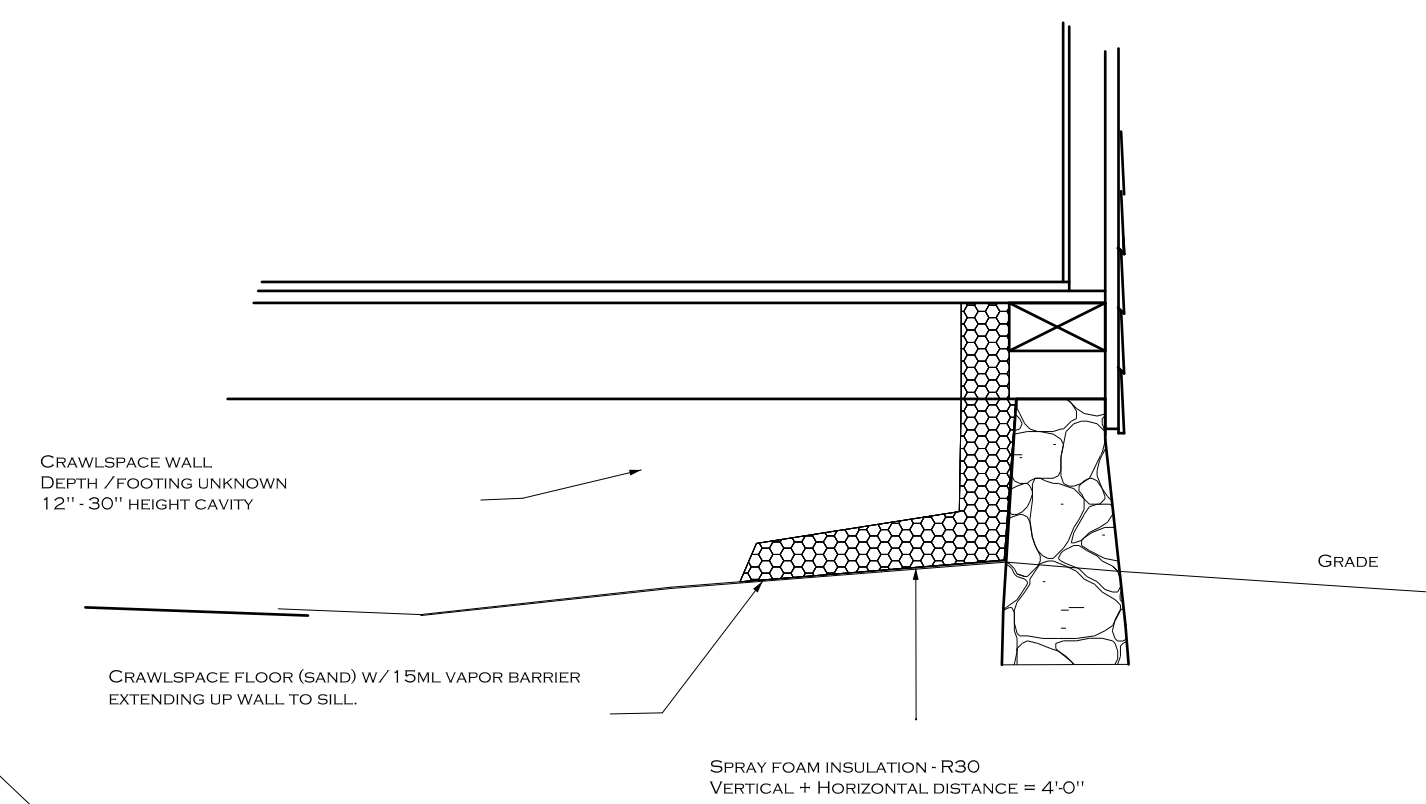
ROOF INSULATION  
BEDROOM CEILING DETAIL



ROOF INSULATION  
CLOSET CEILING DETAIL



FOUNDATION INSULATION DETAIL  
EXISTING CAPE - FULL BASEMENT AREA



FOUNDATION INSULATION DETAIL  
EXISTING CAPE - CRAWL SPACE AREA

5x5, 38" O.C. TIMBER FRAMED ROOF SYSTEM  
W/ 1" BOARD SHEATHING AND 1/2" PLWOOD OVERLAY  
ASPHALT SHINGLE TO BE REPLACED WITH STANDING SEAM METAL.

EXISTING CAPE NOTES:

1. ENVELOPE:
  - A. FOUNDATION (SPRAY FOAM) R VALUE: 24
  - B. FIRST FLOOR WALL R VALUE: 20
  - C. SLOPED ROOF R VALUE: 30
  - D. ATTIC CAP R VALUE: 60
2. EXISTING WINDOWS ARE ALL WOOD DOUBLE HUNG UNITS WITH TRIPLE TRACK STORM WINDOWS (CHARACTERISTICS ESTIMATED):
  - A. U VALUE:
  - B. SHGC:
  - C. VT:
  - D. INFILTRATION:
3. EXISTING ENTRY DOOR TO BE REBUILT WITH THE FOLLOWING CHARACTERISTICS (UA ESTIMATED):
  - A. R VALUE:
  - B. INFILTRATION:
  - C. GLAZING:
4. VAPOR BARRIER TO BE VAPOR PERMEABLE LATEX PAINT.
5. SPOT VENTILATION TO BE PANASONIC WHISPER SERIES OR EQUIVALENT (SPEC TBD).
6. HEAT VIA AIR SOURCE HEAT PUMP (SYSTEM SPEC TBD).
7. COOLING TO BE AIR SOURCE HEAT PUMP (SYSTEM SPEC TBD).
8. FIXED LIGHTING TO BE LED.
9. APPLIANCES TO BE ENERGY STAR COMPLIANT OR BETTER.
10. INFILTRATION TO BE VERIFIED BY BLOWER DOOR TESTING.

GENERAL NOTES

NO.	REVISION / ISSUE	DATE
1.1	FOR KITCHEN DESIGN	8/10
1.2	FOR PERMIT	10/3

ORIENTATION	STAMP

ALL DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND THEY ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF THE DESIGNER.  
CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE DESIGNER.

**Atwater Construction, Inc.**  
1108 ROUTE 12A  
PLAINFIELD, NH 03781  
603-675-2121

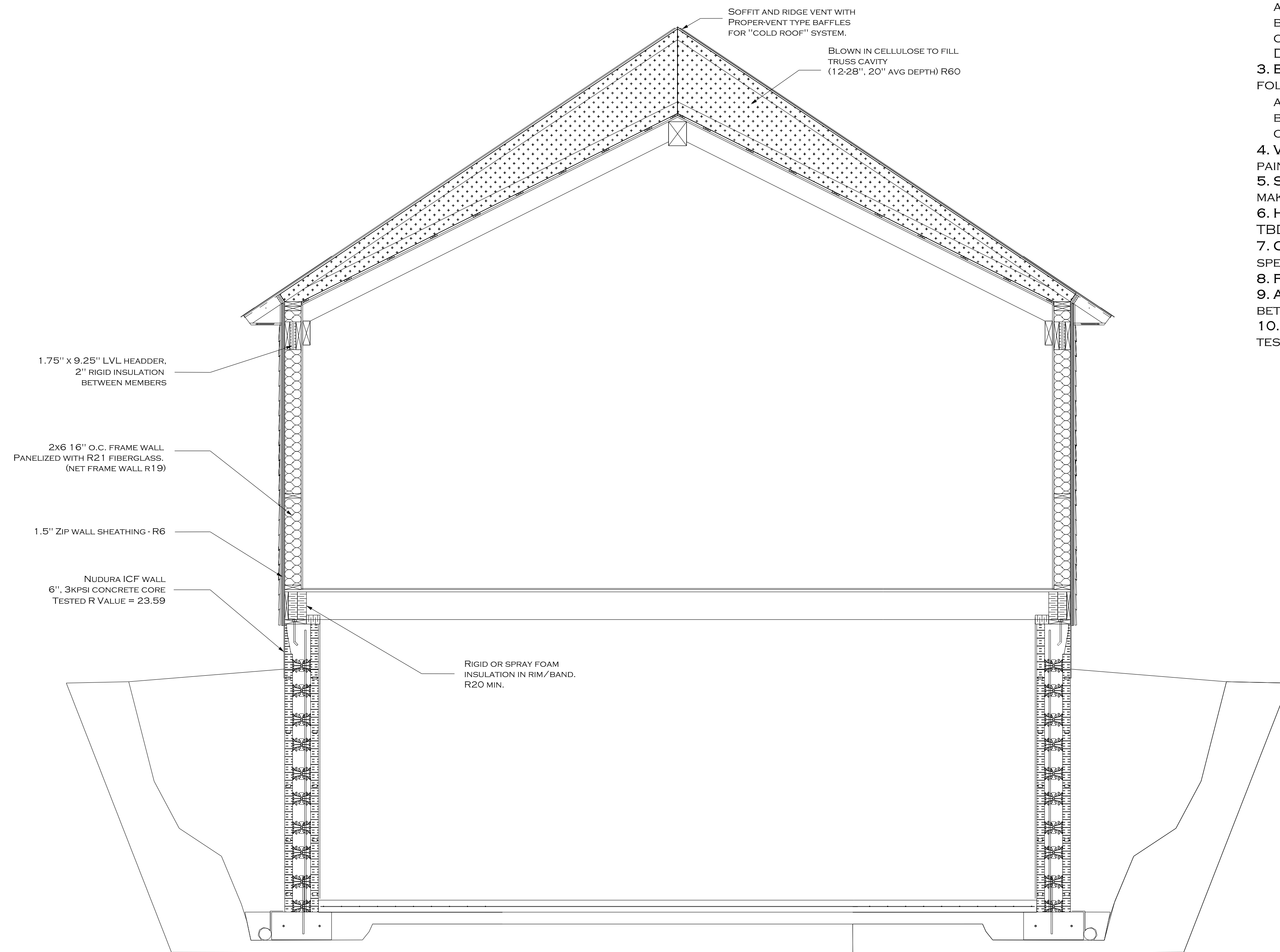
PROJECT NAME:  
**13 WESTGATE RD.**  
**13 WESTGATE RD.**  
**PLAINFIELD**

CLIENT:  
**ATWATER**

DRAWING:  
**IECC 2015 COMPLIANCE**  
**EXISTING CAPE**

SCALE: VARIES      DATE: DECEMBER 2020

DRAWN BY: BA	SHEET: <b>A8</b>
CHECKED BY: #CHECKED BY	
APPROVED BY: #APPROVED BY	



**NOTES;**

1. ENVELOPE:
  - A. FOUNDATION R VALUE: 23.59
  - B. FIRST FLOOR WALL R VALUE: 25
  - C. ROOF/CEILING R VALUE: 60
2. WINDOWS: (ANDERSEN 400 SERIES, CASEMENT OR FIXED UNITS, WITH FOLLOWING CHARACTERISTICS;
  - A. U VALUE: .29
  - B. SHGC: .29
  - C. VT: .49
  - D. INFILTRATION: < .2
3. ENTRY DOOR: TO BE THERMA-TRU WITH THE FOLLOWING CHARACTERISTICS;
  - A. U VALUE: .25
  - B. INFILTRATION: .15
  - C. GLAZING: CLEAR, GBG.
4. VAPOR BARRIER: TO BE VAPOR PERMEABLE LATEX PAINT.
5. SPOT VENTILATION: TO BE RANGE HOOD WITH LOCAL MAKE-UP AIR (SPECS TBD).
6. HEATING: VIA AIR SOURCE HEAT PUMP (SYSTEM SPEC TBD).
7. COOLING: TO BE AIR SOURCE HEAT PUMP (SYSTEM SPEC TBD).
8. FIXED LIGHTING: TO BE LED.
9. APPLIANCES: TO BE ENERGY STAR COMPLIANT OR BETTER.
10. INFILTRATION: TO BE VERIFIED BY BLOWER DOOR TESTING.

**GENERAL NOTES**

No.	REVISION/ISSUE	DATE
1.1	FOR KITCHEN DESIGN	8/10
1.2	FOR PERMIT	10/3

ORIENTATION	STAMP

ALL DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND THEY ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF THE DESIGNER  
 CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE DESIGNER

**Atwater Construction, Inc.**  
 1108 ROUTE 12A  
 PLAINFIELD, NH 03781  
 603-675-2121

PROJECT NAME:  
**13 WESTGATE RD.**  
 13 WESTGATE RD.  
 PLAINFIELD

CLIENT:  
 ATWATER

DRAWING:  
 IECC 2015 COMPLIANCE  
 KITCHEN ADDITION

SCALE: 1/2" = 1'-0" DATE: DECEMBER 2020

DRAWN BY: BA	SHEET: <b>A9</b>
CHECKED BY: #CHECKED BY	
APPROVED BY: #APPROVED BY	

**KITCHEN ADDITION**