

TOWN OF PLAINFIELD ZONING AND BUILDING PERMIT APPLICATION



Property Owner:

Name: Matthew & Katharine Moore Phone: 603-209-0218

Street: 84 Franklin Hill Rd. Email: mmoore896@yahoo.com

City State Zip: Lyme, NH 03768

Project: **Permit Type:** (Check one) Building Zoning

Street Address: Center of Town Rd.

Tax Map: 255 Lot Number: 018 Lot Acreage: 5.5 Zoning District: Rural Residential (RR)

Proposed project distances to property lines (in feet): Front: 550 Rear: 180 Side: 80 Side: 90

State Approved Septic Design #: eCA2019042423 Driveway Permit #: _____

Please provide a written description of the project including appropriate dimensions: A 3 bedroom 2 1/2 bath single family home with a 2 car attached garage. Overall dimensions will be 28'x72'. The house will be a colonial style measuring 28'x38' for a total of 2,128 sq. ft. of living space.

Contractor Information:

Builder:	Electrician:	Plumber:
Name: <u>DA Brothers Contractors LLC</u>	Name: <u>Ac&c electric</u>	Name: <u>Plumbusters</u>
Phone: <u>(603)313-6290</u>	Phone: <u>(603) 346-4132</u>	Phone: <u>(603) 831-0594</u>

Applicant Signature: *Robert W. Moore* Date: 5/21/19

Required Attachments:

Please provide a copy of plans detailing the project. Hand-drawn plans can be used if necessary. Permits cannot be issued without receipt of the proper fee. If you are unsure of the amount due or have any questions about your application, contact the town office (603-469-3201).

TOWN USE: Current Use: Yes / No ZBA: Yes / No PB: Yes / No

BOARD OF SELECTMEN ACTION

Approved Denied

Permit #: 19-34 Date: 6/5/19

Reviewed By Building Inspector or Zoning Administrator
Robert W. Moore
Em R. B...

INSPECTION GUIDELINES
PROPERTY OWNER PLEASE GIVE TO GENERAL CONTRACTOR
YOU ARE RESPONSIBLE TO MAKE SURE THE REQUIRED INSPECTIONS ARE DONE

Plainfield Building Inspectors: David Lersch
 Brad Atwater
 e-mail: inspector@plainfieldnh.org

**TO GENERAL CONTRACTOR: ALL ELECTRICIANS & PLUMBERS MUST
BE LICENSED IN THE STATE OF N.H.**

PROCEDURE FOR SATISFYING BUILDING INSPECTION REQUIREMENTS
INTERNATIONAL BUILDING CODE 2009
INTERNATIONAL RESIDENTIAL CODE 2009
INTERNATIONAL ENERGY CODE 2009
NATIONAL ELECTRICAL CODE 2014
INTERNATIONAL ENERGY CONSERVATION CODE 2009
LIFE SAFETY CODES NFPA 101 2015 (1&2 residential)
NFPA 1 FIRE CODE 2009
TOWN OF PLAINFIELD ZONING & BUILDING ORDINANCES

**THE BUILDING INSPECTOR NEEDS AT LEAST 24 HOURS. NOTICE FOR
ALL INSPECTIONS**

**The following are stages of construction needing inspection for most new buildings,
additions to existing buildings, or other construction:**

**You need to contact the Building Inspector as no permit will be approved until it is
approved by the Building Inspector. A permit must be approved before beginning
any construction of your project.**

If any structural changes to the existing structure are necessary, contact the Building
Inspector prior to starting construction to see if an inspection is necessary.

 **Check mark if required.**

Concrete Piers, Floating Slabs, and Footings (rebar installed and supported, bent around
corners and tied). **Do not pour concrete before forms are inspected.**

 **Check mark if required.**

Basement or frost wall forms in place with rebar installed. **Do not pour concrete before
forms are inspected.**

 **Check mark if required.**

Any buried electrical service (includes generators and solar installations) An inspection
of the trench with conduit installed. Do not bury the conduit until the ditch is inspected.

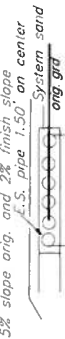
DESIGN INTENT

- (1) All pipe shall be installed in accordance with PROJECT SPECIFICATIONS AND INSTALLATION MANUAL.
- (2) All pipe shall be installed in accordance with PROJECT SPECIFICATIONS AND INSTALLATION MANUAL.
- (3) All pipe shall be installed in accordance with PROJECT SPECIFICATIONS AND INSTALLATION MANUAL.

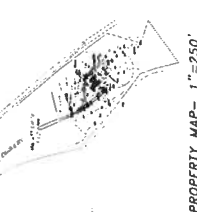
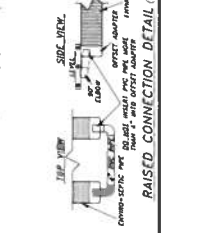
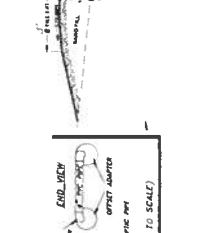
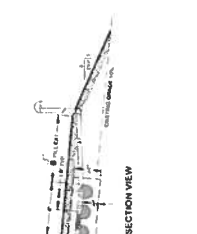
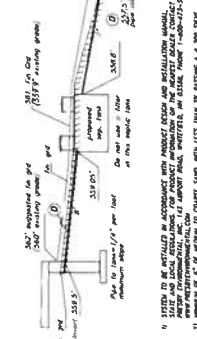
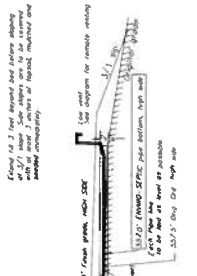
ENVIRO-SEPTIC PIPE ELEVATIONS

LINE NUMBER (High)	2	3	4	5	6	7	8	9
Top of 4.5" PIP	358.0	358.0	358.0	358.0	358.0	358.0	358.0	358.0
Bottom of 4.5" PIP	357.0	357.0	357.0	357.0	357.0	357.0	357.0	357.0

5% slope orig. and 2% finish slope
U.S. pipe 1.50' on center
System and
orig gra



PROPERTY MAP - 1" = 250'



TESTS TAKEN IN 30-YR OLD RILL
12/12/2019

1. 0.1" Dia. 10' long gravelly fine sandy loam, (40/60) 3X rounded cobbles up to 8" diameter.

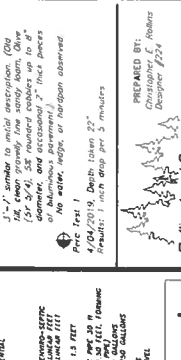
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4. 1" Dia. 10' long gravelly fine sandy loam, (40/60) 3X rounded cobbles up to 8" diameter.

DESIGN CRITERIA

- 1. SEE 2015 ASCE 7-10
- 2. 15-MINUTE FREQUENCY WIND SPEED SHALL BE AT LEAST 35-MPH FROM 100' TO 150' AGL
- 3. 15-MINUTE FREQUENCY WIND SPEED SHALL BE AT LEAST 35-MPH FROM 100' TO 150' AGL
- 4. 15-MINUTE FREQUENCY WIND SPEED SHALL BE AT LEAST 35-MPH FROM 100' TO 150' AGL



PREPARED BY:
Christopher E. Rollins
Designer #254

Rollins Land Survey
1216 Rt. 136, P.O. Box 291
Plainfield, NH 0781 603-252-7204

OWNER:
MARK H. DANIEL, J. WILBER
PROPERTY OF: CENTER OF TOWN ROAD

EFFLUENT DISPOSAL SYSTEM DESIGN
OWNER: MARK H. DANIEL, J. WILBER
PROPERTY OF: CENTER OF TOWN ROAD

DESIGNED BY:
Christopher E. Rollins
Designer #254

DATE: 08/11/2019

SCALE: 1" = 20'

NOTES:

- SEE 2015 ASCE 7-10
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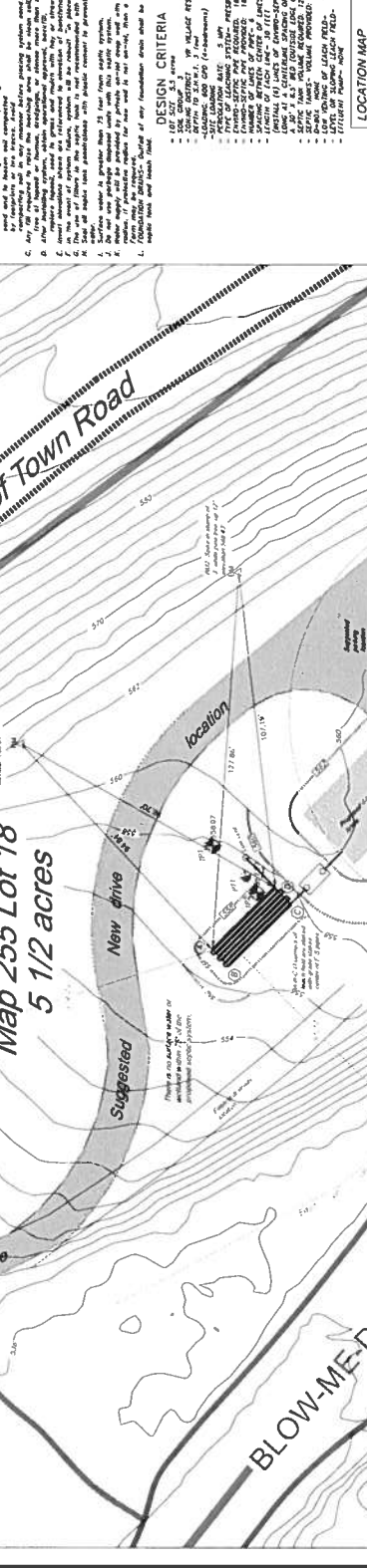
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Subdivision Status
State Subdivision Approval Number:
20014/9/19 DEED

For town approval
see separate sheet.

REVIEWED AND APPROVED:
WILLIAM J. DANIEL, JR.
SUBDIVISION ENGINEER
WILLIAM J. DANIEL, JR.
1000 N. MAIN ST.
PLAINFIELD, NH 07811
Tel: 603-252-7204

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Chris M.
Professional Engineer
No. 000000000
05/2019



PROJECT NAME
MOORE RESIDENCE
PLAINFIELD, NEW HAMPSHIRE

SHEET NO.
COVER SHEET

DATE
C
8 MAY 2019



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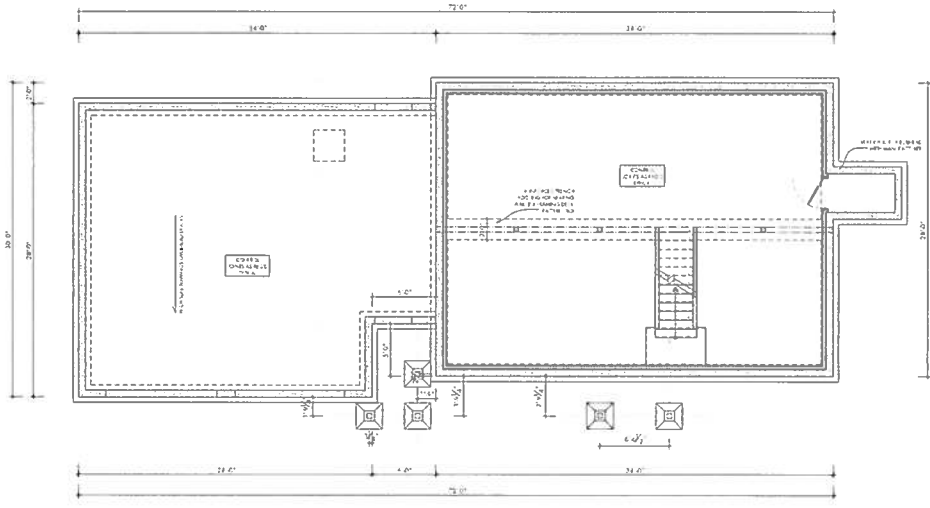
MOORE RESIDENCE

PLAINFIELD NEW HAMPSHIRE

FOUNDATION DIAGRAM

A1

8 MAY 2019



1 BASEMENT/FOUNDATION DIAGRAM





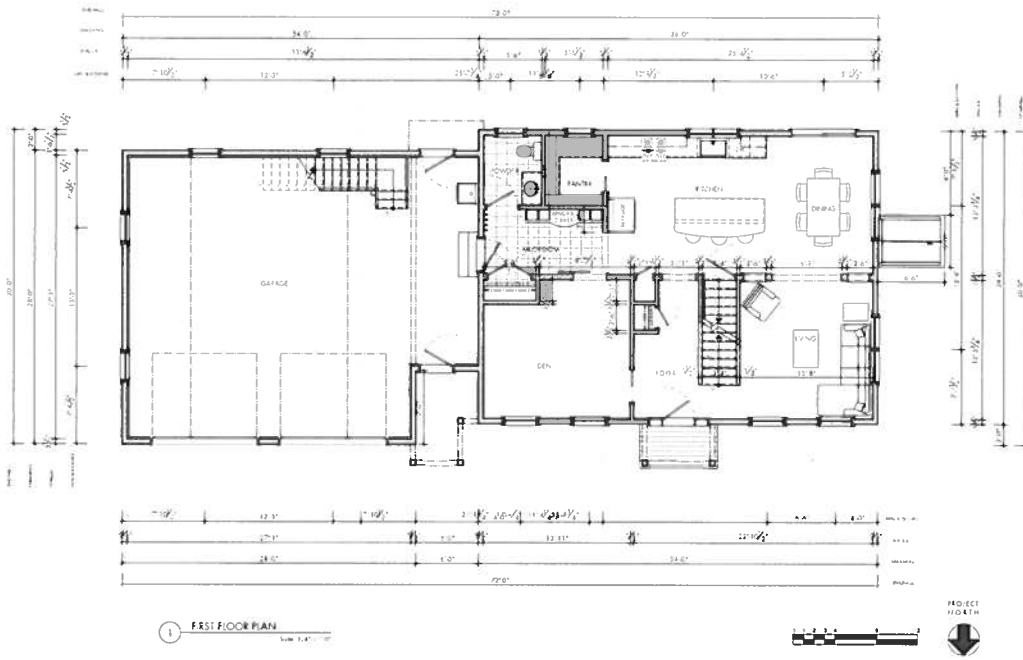
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Office:
100 Main Street
Plainfield, NJ 07060

PROJECT TITLE
MOORE RESIDENCE
PLAINFIELD, NEW HAMPSHIRE

PROJECT NUMBER
FIRST FLOOR PLAN

Sheet
A2
Date
8 MAY 2019

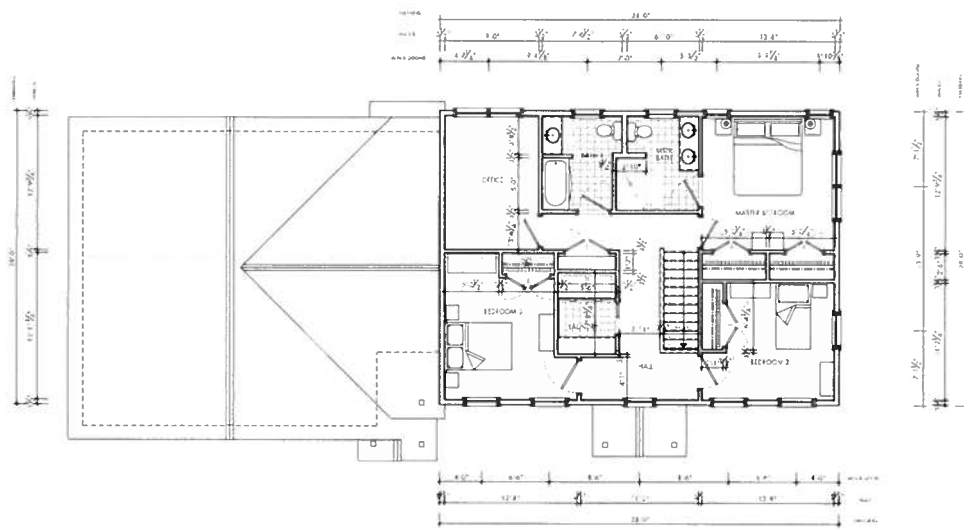




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1 SECOND FLOOR PLAN

MOORE RESIDENCE
PLANNED NEW HAMPSHIRE

SECOND FLOOR PLAN

A3
8 MAY 2019



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1000 N. 1st St.
P.O. Box 1000
Newfield, NY 13207

PROJECT TITLE
MOORE RESIDENCE
PLANNED NEW HAMPSHIRE

DATE PREPARED BY
ELEVATIONS

Scale
A4
Date
MAY 2019



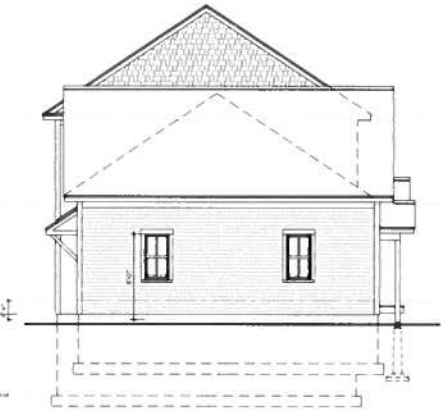
1 NORTH ELEVATION
Scale: 1/8" = 1'-0"



2 WEST ELEVATION
Scale: 1/8" = 1'-0"



3 SOUTH ELEVATION
Scale: 1/8" = 1'-0"



4 EAST ELEVATION
Scale: 1/8" = 1'-0"



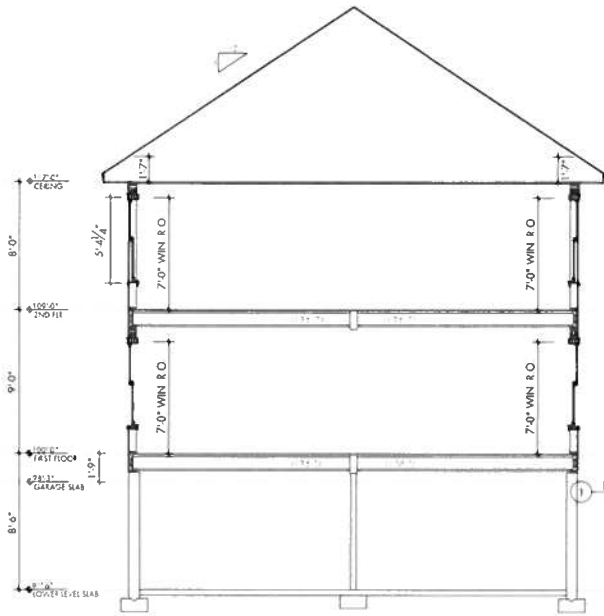
T-Mac Drafting & Design
Working for you + your vision

Chris
1000 E. Highway 101
P.O. Box 133
Wrentham, MA 01992

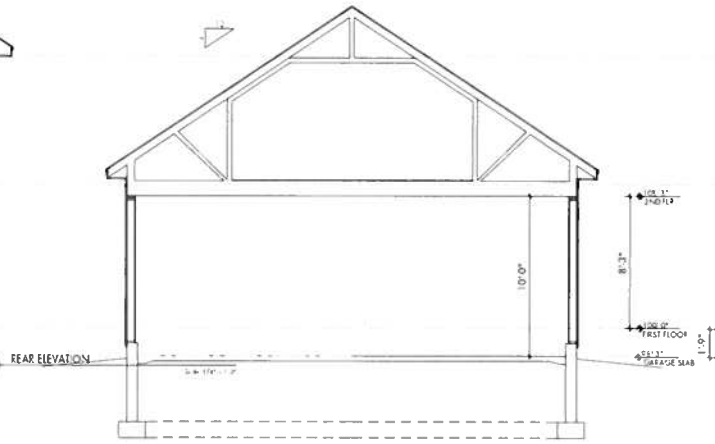
PROJECT NAME
MOORE RESIDENCE
PLAINFIELD, NEW HAMPSHIRE

SECTIONS

Sheet
A5
Date
8 MAY 2019



1 MAIN HOUSE SECTION
Scale: 1/4" = 1'-0"



2 GARAGE BAYS SECTION W/ STORAGE TRUSS
Scale: 1/4" = 1'-0"



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1000 ...
1000 ...
1000 ...

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MOORE RESIDENCE
PLAINFIELD NEW HAMPSHIRE

LIGHTING DIAGRAMS

Sheet

Number

Date

Scale

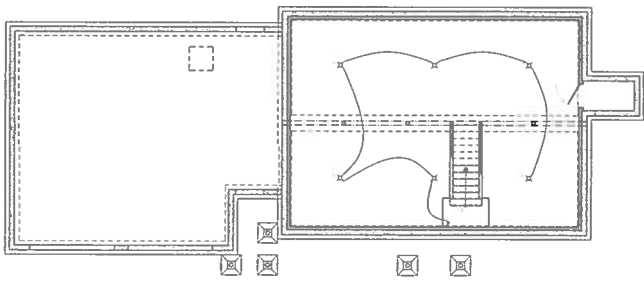
Author

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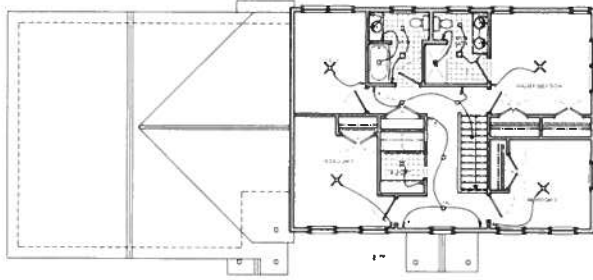
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8 MAY 2019

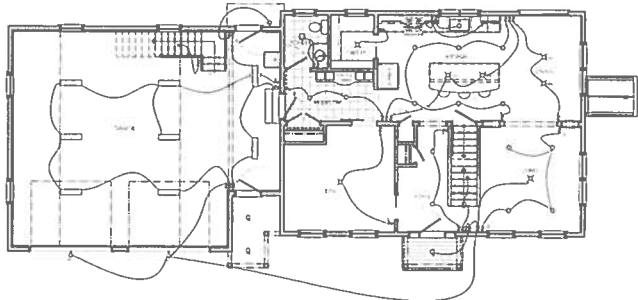
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1 BASEMENT LEVEL LIGHTING DIAGRAM Scale: 1/8" = 1'-0"



3 SECOND FLOOR LIGHTING DIAGRAM Scale: 1/8" = 1'-0"



2 FIRST FLOOR LIGHTING DIAGRAM Scale: 1/8" = 1'-0"

A6