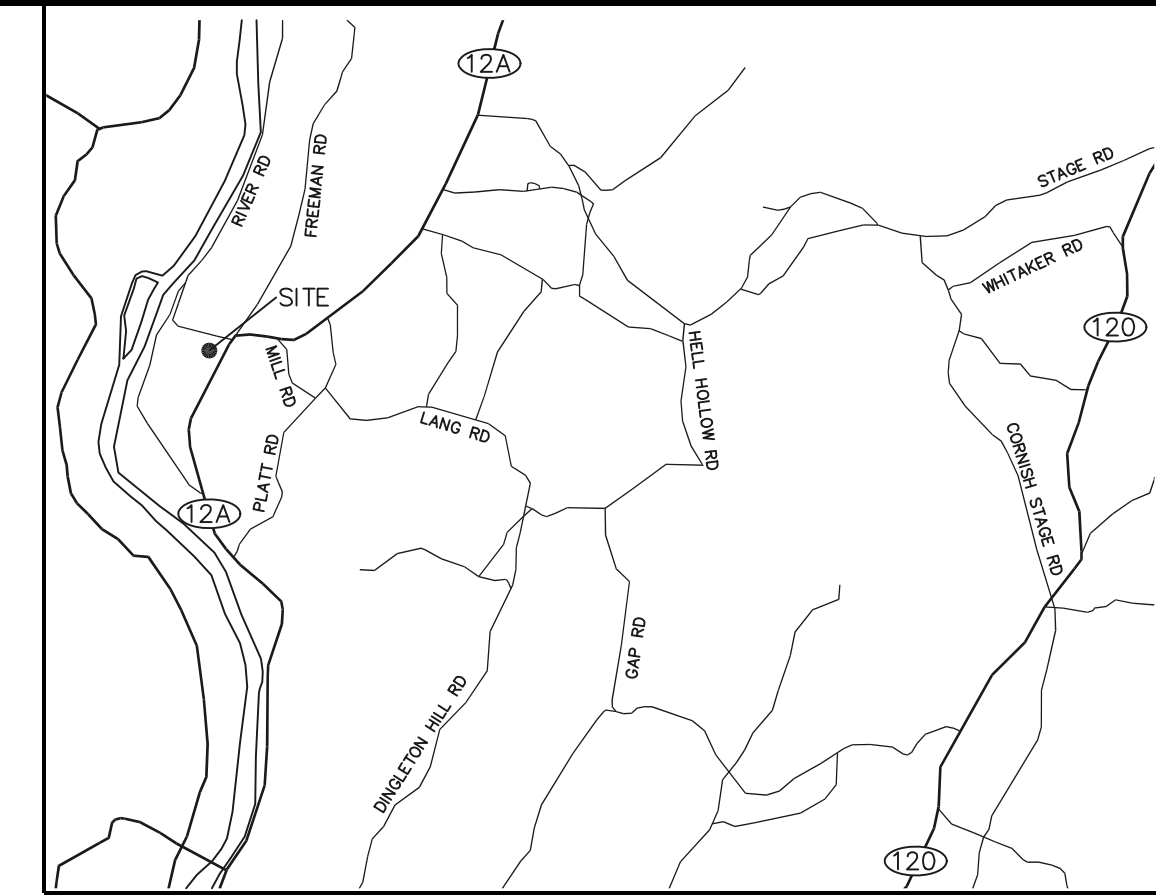


**PLANSET FOR
APPLICATION FOR SITE PLAN REVIEW
NEW FACILITY BUILDING
TOWNLINE EQUIPMENT SALES, INC.
1474 NH ROUTE 12A
TAX MAP 258, LOT 7
PLAINFIELD, NEW HAMPSHIRE**

MARCH 1, 2021

**FOR REVIEW BY:
TOWN OF PLAINFIELD, NH
PLANNING BOARD**



SITE LOCATION MAP
NOT-TO-SCALE

PREPARED FOR OWNER:
Great Brook Enterprises, LLC
Matt Marrazzo, Owner
P.O. Box 300
Plainfield, NH 03781
@ Townline Equipment Sales, Inc.
(603) 675-6347
matt@townlineequipment.com

PREPARED BY ENGINEER:
Right Angle Engineering, PLLC
Erin Darrow, P.E., C.P.E.S.C.
152 Main Street
New London, NH 03257
(603) 526-2807 office
(603) 443-7815 mobile
(603) 523-8811 fax
Erin@RightAngle.Engineering

SURVEYOR:
DiBernardo Associates, LLC
Joseph DiBernardo, L.L.S.
P.O. Box 52
Bellows Falls, VT 05101
(802) 463-3031
joedibo@comcast.net

WETLANDS SCIENTIST:
Beaver Tracks, LLC
Jonathan Sisson, C.W.S., C.S.S.
408 Randolph Hill Road
Randolph, NH 03593
(603) 313-4925
beavertrackslc@yahoo.com

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215 Gates-Briggs Building
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frankjbarrettjr@gmail.com
(802) 295-0004

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61 Depot Street
Wilder, VT 05088-0152
(802) 295-2002
timothy@schaalengineering.com

Lot Information

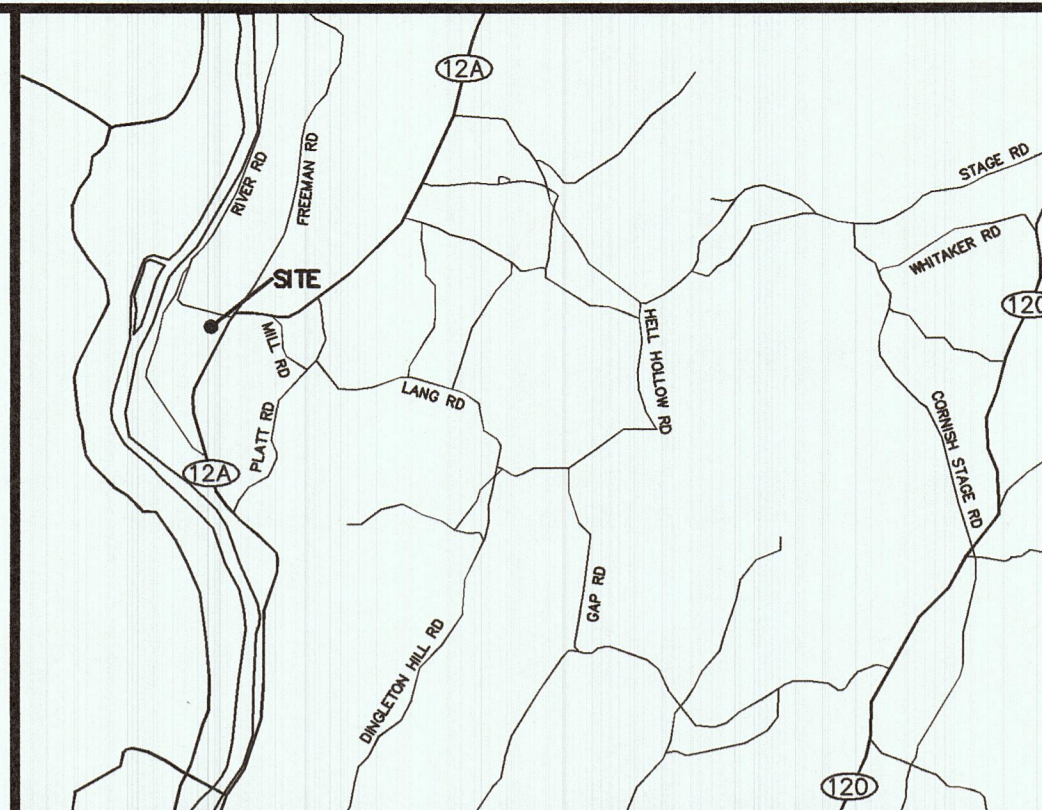
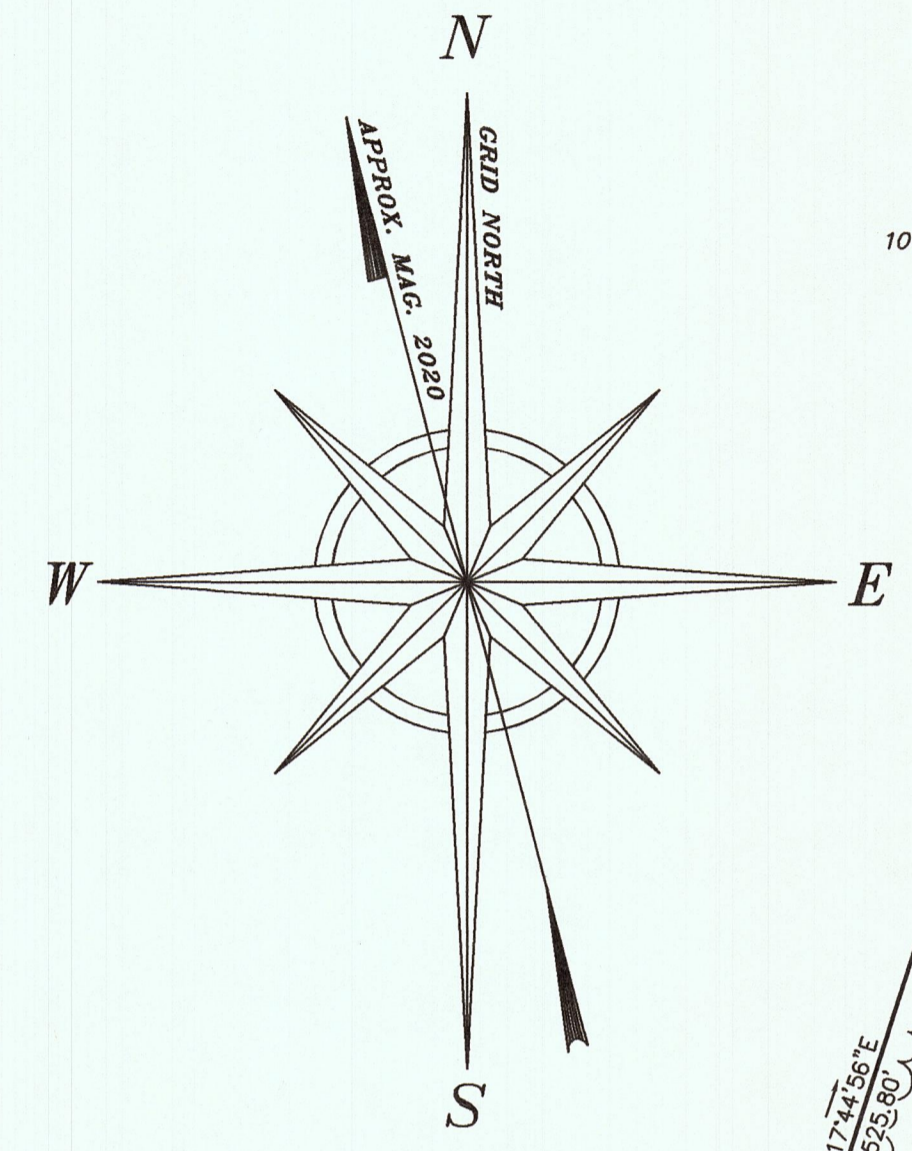
Lot Location	Map 258, Lot 7 1474 NH Route 12A Plainfield, NH
Lot Size	6.86 Acres 298,821.6 Square Ft
Zone	VR - Village Residential
Setbacks	30' front yard 15' side & rear yard
Allowable Impervious Surface Coverage	40%
Existing Impervious Coverage	7.3% (3000 sq. ft.)
Proposed Impervious Coverage	17.3% (7096 sq. ft.)
Allowable Building Height	35 ft.
Existing & Proposed Building Height	less than 35 ft
Existing & Proposed Use	Sales & Service Tractors & Excavation Equipment

PLANSET CONTENTS:

- | | |
|---------------------|-------------------------------------|
| Sheet 1: | Cover Sheet |
| Sheet 2: | Existing Conditions Survey |
| Sheet 3: | Overall Proposed Site Plan |
| Sheet 4: | Detailed Proposed Site Plan |
| Sheet 5: | General Details |
| Sheet 6: | Drainage Profile |
| Sheet 7: | Construction Details |
| Sheet 8: | Erosion Control Details |
| Sheet 9: | Proposed Floorplan |
| Sheet 10-14: | Proposed Building Elevations |

Impervious Surface

Description	Existing Area (Square Feet)	Proposed Area (Square Feet)
Gravel Parking, Storage, Walkways	89,950 sf	89,950
Asphalt Parking, Driveway	2685 sf	2685 sf
Concrete Pads	2035 sf	2035 sf
Building	18,675 + 6180 = 24,855 sf	18,675 + 5600 = 24,275 sf
TOTAL	119,525	118,945 sf
Percent of Lot (41,000 SF)	39.99%	39.80%



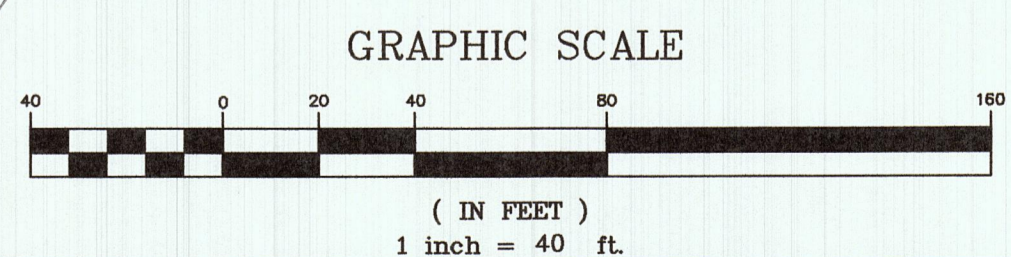
~ LOCATION MAP ~

~ LEGEND ~

	PROPERTY LINE
	RIGHT OF WAY LINE
	BUILDING SETBACKS
	CONCRETE BOUND FOUND
	IRON PIN FOUND
	CHAIN LINK FENCE
	UTILITY POLE
	UNDERGROUND ELECTRIC
	OVERHEAD WIRE
	SEWER LINE
	WATER LINE
	CATCH BASIN
	TEST PIT
	WELL
	APPROX. SEPTIC TANK
	BENCH MARK
	BOLLARD
	LIGHT
	MULCH
	TREE LINE
	STORM DRAIN

~ CHAPTER 676:18 SECTION III CERTIFICATION ~
 I CERTIFY THAT THIS SURVEY PLAN IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

Joseph A. DiBernardo
 JOSEPH A. DIBERNARDO, N.H. L.L.S. #963
 DATE 12/4/20



PLAN SHOWING PROPERTY OF
MARRAZZO PROPERTIES, LLC
 &
GREAT BROOK ENTERPRISES, LLC
 P.O. BOX 300
 PLAINFIELD, NH 03781
 TAX MAP 258 LOTS 7 & 8
 ROUTE 12A & FERRY HILL RD ~ SULLIVAN COUNTY ~ PLAINFIELD, NH

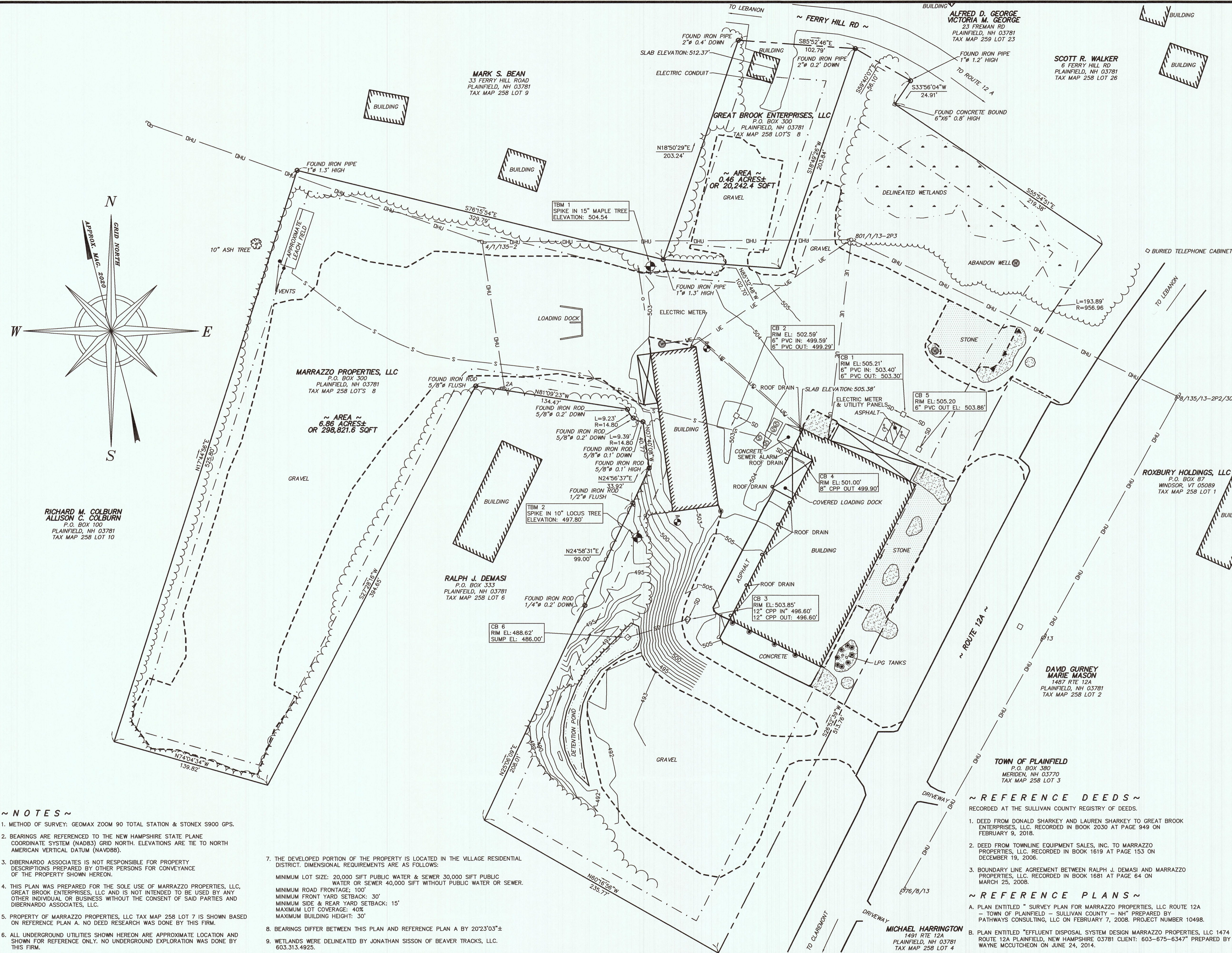
DIBERNARDO ASSOCIATES, LLC
 VT NH
 LICENSED LAND SURVEYORS
 P.O. BOX 52
 BELLOWS FALLS, VT 05601
 802-463-3631 ~ 802-558-5509

DATE **DECEMBER 4, 2020** SCALE **1"=40'**
 DRAWN BY **JW** CK'D BY **JAD**
 SURVEYED BY **JW, BG**
 DWG.NO. **3361** © COPYRIGHT 2020 DIBERNARDO ASSOCIATES, LLC.

- ~ NOTES ~
- METHOD OF SURVEY: GEOMAX ZOOM 90 TOTAL STATION & STONEX S900 GPS.
 - BEARINGS ARE REFERENCED TO THE NEW HAMPSHIRE STATE PLANE COORDINATE SYSTEM (NAD83) GRID NORTH. ELEVATIONS ARE TIE TO NORTH AMERICAN VERTICAL DATUM (NAVD88).
 - DIBERNARDO ASSOCIATES IS NOT RESPONSIBLE FOR PROPERTY DESCRIPTIONS PREPARED BY OTHER PERSONS FOR CONVEYANCE OF THE PROPERTY SHOWN HEREON.
 - THIS PLAN WAS PREPARED FOR THE SOLE USE OF MARRAZZO PROPERTIES, LLC, GREAT BROOK ENTERPRISES, LLC AND IS NOT INTENDED TO BE USED BY ANY OTHER INDIVIDUAL OR BUSINESS WITHOUT THE CONSENT OF SAID PARTIES AND DIBERNARDO ASSOCIATES, LLC.
 - PROPERTY OF MARRAZZO PROPERTIES, LLC TAX MAP 258 LOT 7 IS SHOWN BASED ON REFERENCE PLAN A. NO DEED RESEARCH WAS DONE BY THIS FIRM.
 - ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE LOCATION AND SHOWN FOR REFERENCE ONLY. NO UNDERGROUND EXPLORATION WAS DONE BY THIS FIRM.

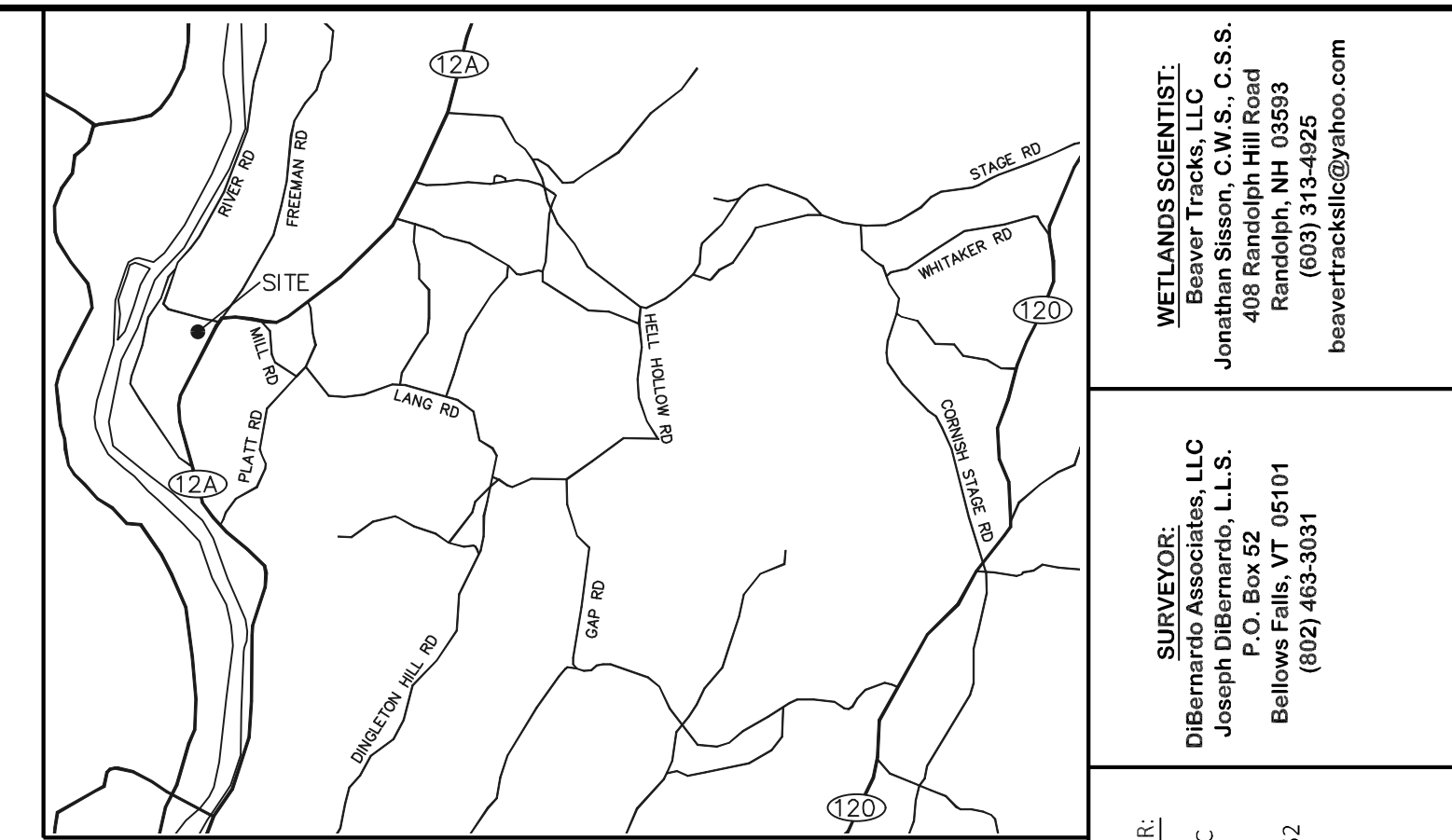
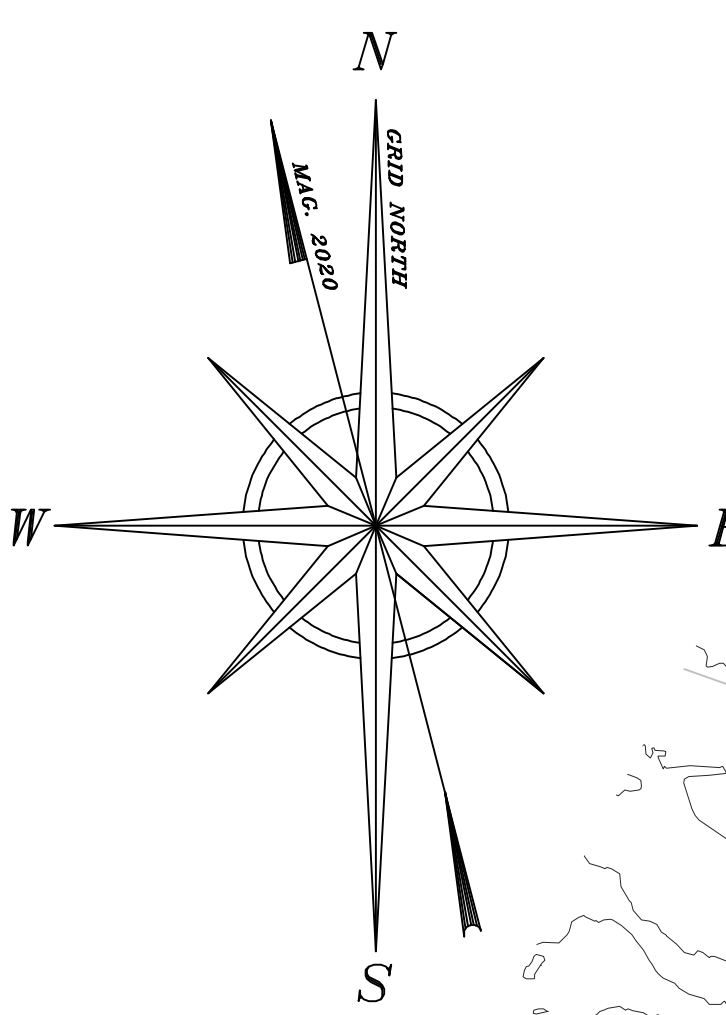
- THE DEVELOPED PORTION OF THE PROPERTY IS LOCATED IN THE VILLAGE RESIDENTIAL DISTRICT. DIMENSIONAL REQUIREMENTS ARE AS FOLLOWS:
 MINIMUM LOT SIZE: 20,000 SIFT PUBLIC WATER & SEWER 30,000 SIFT PUBLIC WATER OR SEWER 40,000 SIFT WITHOUT PUBLIC WATER OR SEWER.
 MINIMUM ROAD FRONTAGE: 100'
 MINIMUM FRONT YARD SETBACK: 30'
 MINIMUM SIDE & REAR YARD SETBACK: 15'
 MAXIMUM LOT COVERAGE: 40%
 MAXIMUM BUILDING HEIGHT: 30'
- BEARINGS DIFFER BETWEEN THIS PLAN AND REFERENCE PLAN A BY 20'23"03"±
- WETLANDS WERE DELINEATED BY JONATHAN SISSON OF BEAVER TRACKS, LLC. 603.313.4925.

- ~ REFERENCE DEEDS ~
 RECORDED AT THE SULLIVAN COUNTY REGISTRY OF DEEDS.
- DEED FROM DONALD SHARKEY AND LAUREN SHARKEY TO GREAT BROOK ENTERPRISES, LLC. RECORDED IN BOOK 2030 AT PAGE 949 ON FEBRUARY 9, 2018.
 - DEED FROM TOWNLINE EQUIPMENT SALES, INC. TO MARRAZZO PROPERTIES, LLC. RECORDED IN BOOK 1619 AT PAGE 153 ON DECEMBER 19, 2006.
 - BOUNDARY LINE AGREEMENT BETWEEN RALPH J. DEMASI AND MARRAZZO PROPERTIES, LLC. RECORDED IN BOOK 1681 AT PAGE 64 ON MARCH 25, 2008.
- ~ REFERENCE PLANS ~
- PLAN ENTITLED "SURVEY PLAN FOR MARRAZZO PROPERTIES, LLC ROUTE 12A - TOWN OF PLAINFIELD - SULLIVAN COUNTY - NH" PREPARED BY PATHWAYS CONSULTING, LLC ON FEBRUARY 7, 2008. PROJECT NUMBER 10498.
 - PLAN ENTITLED "EFFLUENT DISPOSAL SYSTEM DESIGN MARRAZZO PROPERTIES, LLC 1474 ROUTE 12A PLAINFIELD, NEW HAMPSHIRE 03781 CLIENT: 603-675-6347" PREPARED BY WAYNE MCCUTCHEON ON JUNE 24, 2014.

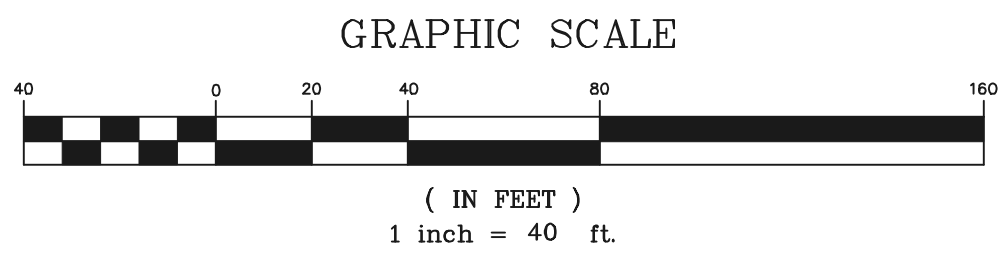
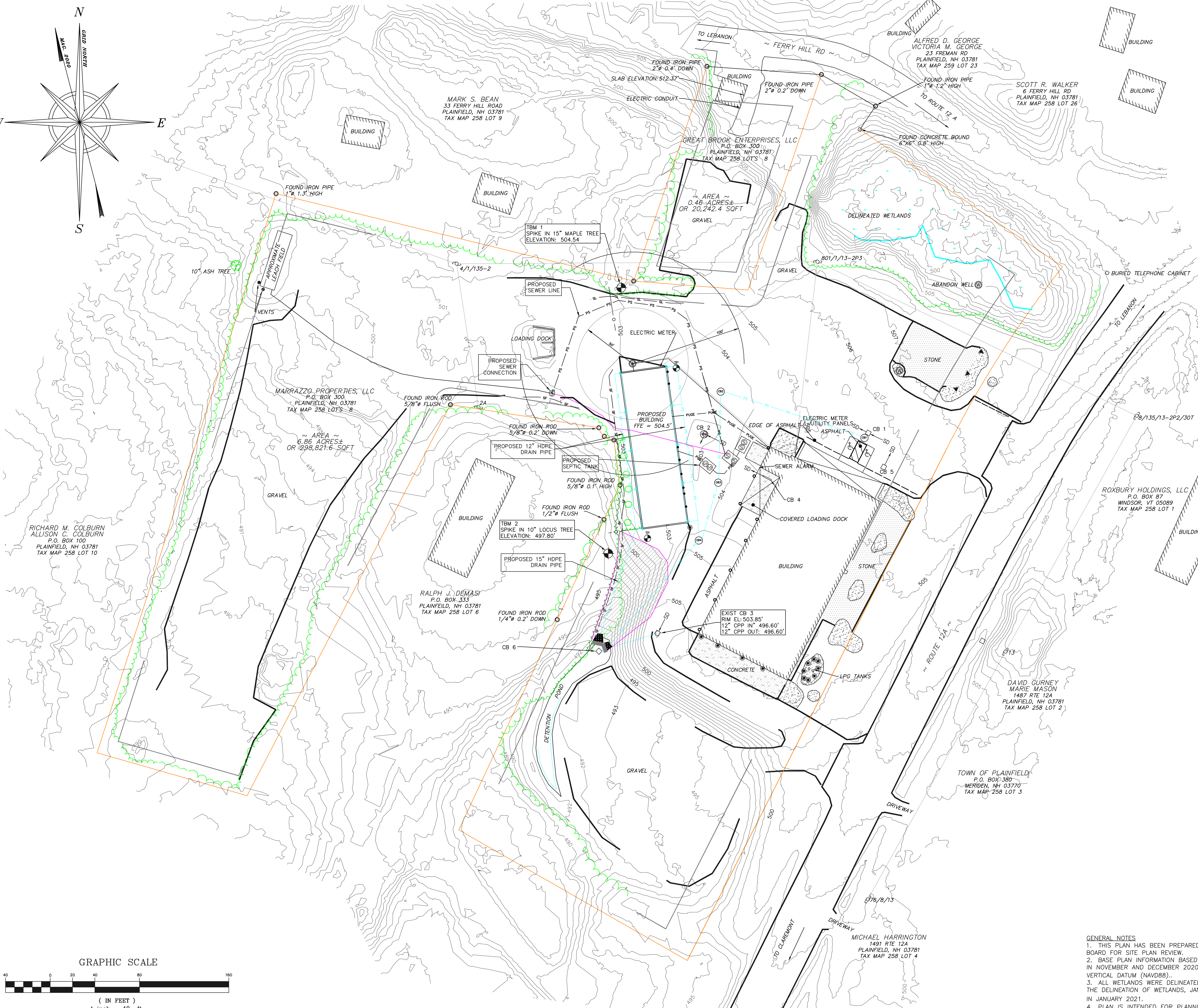


MICHAEL HARRINGTON
 1491 RTE 12A
 PLAINFIELD, NH 03781
 TAX MAP 258 LOT 4

TOWN OF PLAINFIELD
 P.O. BOX 380
 MERIDEN, NH 03770
 TAX MAP 258 LOT 3



SITE LOCATION MAP
NOT-TO-SCALE



- GENERAL NOTES**
1. THIS PLAN HAS BEEN PREPARED FOR REVIEW BY THE TOWN OF PLAINFIELD, NEW HAMPSHIRE PLANNING BOARD FOR SITE PLAN REVIEW.
 2. BASE PLAN INFORMATION BASED ON FIELD SURVEY DATA COLLECTED BY DIBERNARDO ASSOCIATES, LLC, IN NOVEMBER AND DECEMBER 2020, AND JANUARY 2021. ELEVATION IS TIED INTO NORTH AMERICAN VERTICAL DATUM (NAVD83).
 3. ALL WETLANDS WERE DELINEATED IN ACCORDANCE WITH THE ARMY CORPS OF ENGINEERS METHOD FOR THE DELINEATION OF WETLANDS, JANUARY 1987, BY BEAVER TRACKS LLC, JONATHAN SISSON, C.S.S., C.W.S., IN JANUARY 2021.
 4. PLAN IS INTENDED FOR PLANNING PURPOSES ONLY AND IS NOT FOR CONSTRUCTION.

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frankjbarrett@gmail.com

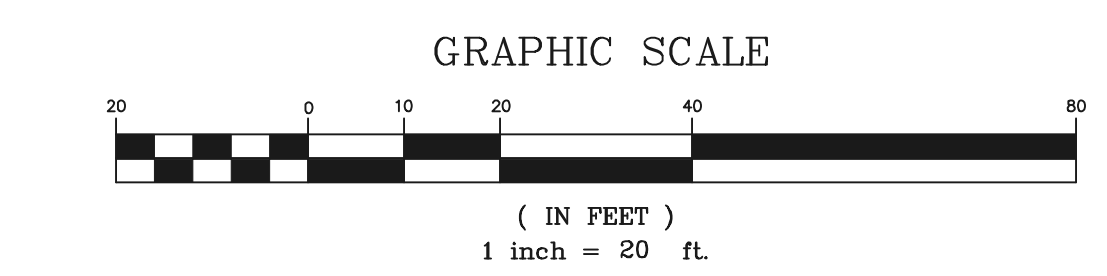
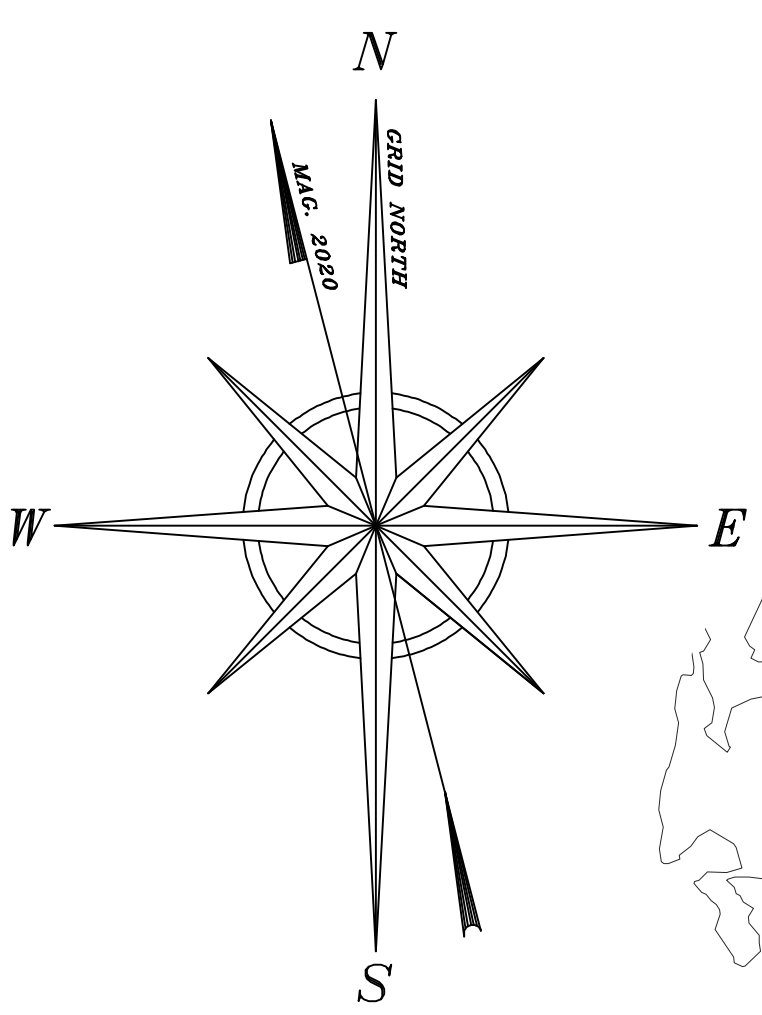


ENGINEER:
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New London, NH 03257
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(603) 443-7615 mobile
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Erm@RightAngle.Engineering

OWNER:
GREAT BROOK ENTERPRISES, LLC
MATT MARRAZZO
P.O. BOX 300
PLAINFIELD, NH 03781

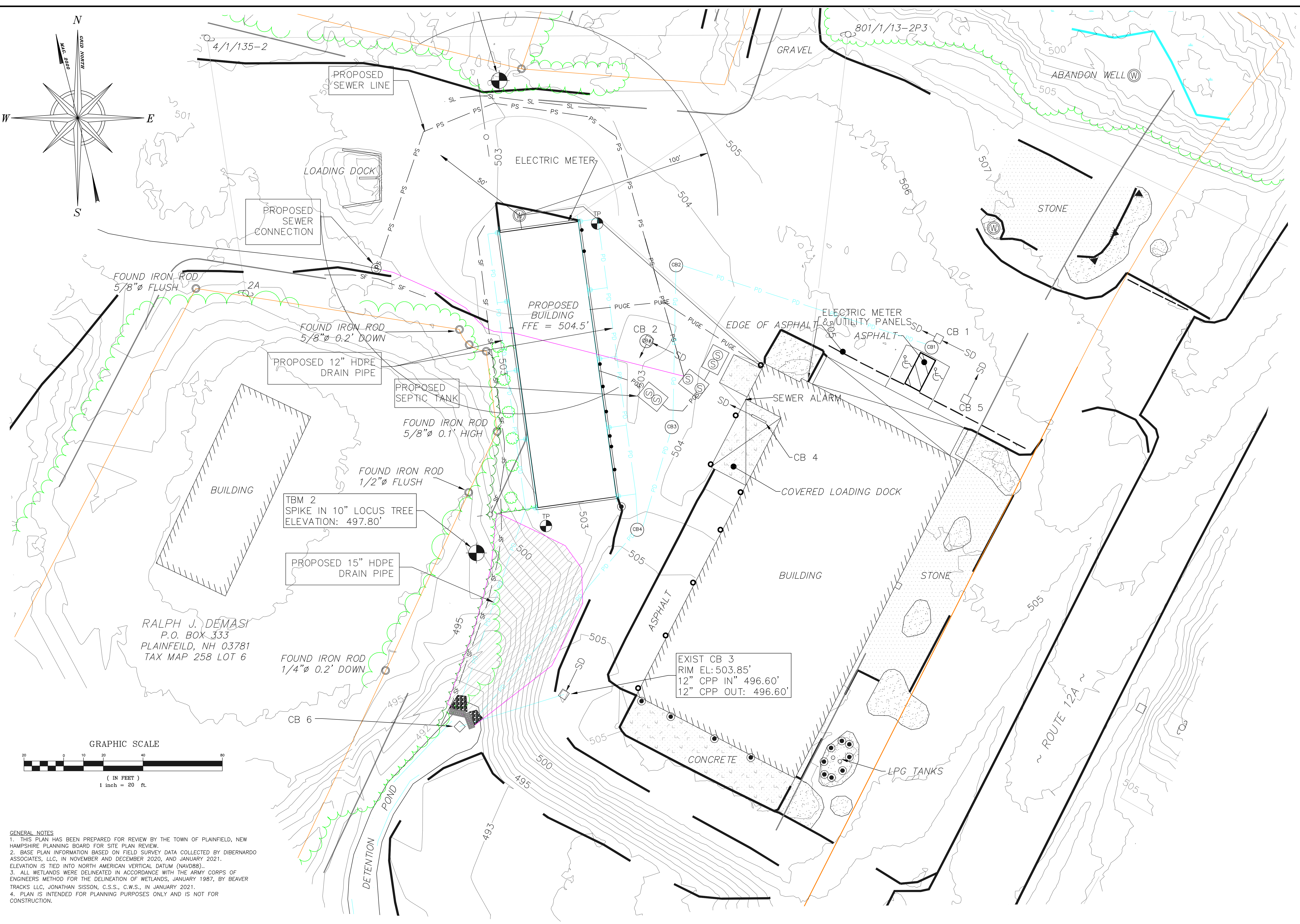
SITE PLAN
NEW FACILITY BUILDING
TOWNLINE EQUIPMENT
1474 NH ROUTE 12A
TAX MAP 258, LOT 7
PLAINFIELD, NEW HAMPSHIRE
MARCH 1, 2021

SHEET 3



GENERAL NOTES

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3. ALL WETLANDS WERE DELINEATED IN ACCORDANCE WITH THE ARMY CORPS OF ENGINEERS METHOD FOR THE DELINEATION OF WETLANDS, JANUARY 1987, BY BEAVER TRACKS LLC, JONATHAN SISSON, C.S.S., C.W.S., IN JANUARY 2021.
4. PLAN IS INTENDED FOR PLANNING PURPOSES ONLY AND IS NOT FOR CONSTRUCTION.



RALPH J. DEMASI
P.O. BOX 333
PLAINFIELD, NH 03781
TAX MAP 258 LOT 6

TBM 2
SPIKE IN 10" LOCUS TREE
ELEVATION: 497.80'

EXIST CB 3
RIM EL: 503.85'
12" CPP IN" 496.60'
12" CPP OUT: 496.60'

WETLANDS SCIENTIST:
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beavertracksllc@yahoo.com

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White River, VT 05588-0152

ARCHITECT:
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(603) 443-7815 mobile
(603) 523-4811 fax
Erin@RightAngle.Engineering

OWNER:
GREAT BROOK ENTERPRISES, LLC
MATT MARRAZZO
P.O. BOX 300
PLAINFIELD, NH 03781

SITE PLAN
NEW FACILITY BUILDING
TOWNLINE EQUIPMENT
1474 NH ROUTE 12A
TAX MAP 258, LOT 7
PLAINFIELD, NEW HAMPSHIRE
MARCH 1, 2021

SHEET 4

LEGEND	
	EXISTING STONE SURFACE
	EXISTING EDGE OF PAVEMENT
	EXISTING EDGE OF GRAVEL
	EXISTING TREELINE/EDGE OF VEGETATION
	EXISTING 1-FOOT GRADE CONTOUR
	PROPOSED 1-FOOT GRADE CONTOUR
	RIGHT-OF-WAY/PROPERTY BOUNDARY LINE
	BUILDING SETBACK LINE
	EDGE OF JURISDICTIONAL WETLANDS
	EXISTING OVERHEAD UTILITY WIRES
	EXISTING UNDERGROUND UTILITY WIRES
	EXISTING UNDERGROUND ELECTRIC
	EXISTING UTILITY POLE
	EXISTING WELL
	EXISTING WATER LINE
	PROPOSED SEWER LINE
	EXISTING ROOF DRAIN
	PROPOSED ROOF DRAIN
	EXISTING CATCHBASIN
	EXISTING STORM SEWER LINE
	PROPOSED SEWER CLEANOUT
	EXISTING PRESSURE SEWER LINE TO REMAIN
	EXISTING PRESSURE SEWER LINE TO BE ABANDONED
	PROPOSED CATCHBASIN
	PROPOSED STORM SEWER LINE
	PROPOSED BOLLARD
	EXISTING CONCRETE SURFACE
	PROPOSED WATER LINE
	PROPOSED LANDSCAPING/SHRUB
	PROPOSED SILT LOG
	PROPOSED SILT FENCE
	PROPOSED NON-WOVEN BIOSTABILIZATION BLANK
	EXISTING CHAIN LINK FENCE
	PROPOSED STORM SEWER PIPE LINE
	PROPOSED ROCK CHECK DAM
	PROPOSED UNDERGROUND ELECTRIC UTILITY

GENERAL NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR ALL WORK SHOWN ON THE DRAWINGS, UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MATERIALS REQUIRED TO COMPLETE PLANS.
2. CONTRACTOR IS RESPONSIBLE FOR REPORTING CONDITIONS IDENTIFIED ON-SITE THAT IMPACT THE PHASING, IMPLEMENTATION, FINAL CONDITIONS, AND/OR OVERALL CONSTRUCTION OF THIS PROJECT.
3. THE CONTRACTOR SHALL COORDINATE CONSTRUCTION ACTIVITIES, MATERIALS STORAGE, AND EQUIPMENT STAGING AREAS WITH THE ENGINEER.
4. MOBILIZATION, SHALL INCLUDE THE DESIGN, CONSTRUCTION, MAINTENANCE, REMOVAL, AND RESTORATION OF THE SITE AREA FOR CONSTRUCTION.
5. ALL DISTURBED AREAS WITHIN PROJECT LIMITS NOT COVERED BY HARD SURFACES, LANDSCAPING, OR STORMWATER TREATMENTS SHALL BE FINISHED WITH 4" OF LOAM (NHDOT ITEM 641) AND TURF ESTABLISHMENT WITH MULCH AND TACKIFIERS (NHDOT ITEM 646.31).
6. SITE SECURITY AND JOB SAFETY ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ALL CONSTRUCTION ACTIVITIES SHALL COMPLY WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.
7. THE CONTRACTOR SHALL PROVIDE SUBMITTALS (GRADATIONS, PROCTORS, PRODUCT DATA, ETC.) AS DIRECTED BY THE ENGINEER FOR ALL MATERIALS TO BE INCORPORATED INTO THE WORK.
8. THE ENGINEER SHALL HAVE FULL ACCESS TO THE SITE WHEN THE WORK IS IN PREPARATION AND PROGRESS. THEY MAY OBSERVE THE WORK ON A PERIODIC OR FULL-TIME BASIS.
9. THE CONTRACTOR SHALL PROVIDE A DETAILED CONSTRUCTION SCHEDULE TO THE ENGINEER PRIOR TO CONSTRUCTION.
10. THE CONTRACTOR IS RESPONSIBLE FOR REPAIR TO ALL DAMAGES CAUSED DURING CONSTRUCTION.
11. THE CONTRACTOR IS RESPONSIBLE TO RESTORATION TO ALL DISTURBED AREAS OUTSIDE THE LIMITS OF WORK TO PRE-CONSTRUCTION CONDITIONS.
12. FINAL RESOLUTION TO CONFLICTS WITHIN THE SPECIFICATIONS OR ANY SUBSTITUTIONS SHALL BE DETERMINED BY THE ENGINEER.
13. THE CONTRACTOR SHALL NOT DISTURB ANY EXISTING PROPERTY CORNER, MONUMENT, SURVEY MARKER, OR BENCHMARK WITHOUT FIRST MAKING PROVISIONS FOR ITS REPLACEMENT OR RELOCATION.
14. ALL TESTING SHALL BE ORDERED BY THE ENGINEER AND COORDINATED BY THE CONTRACTOR IN ACCORDANCE WITH NHDOT, AASHTO, AND THE PROJECT SPECIFICATIONS. CONTRACTOR SHALL GIVE THE ENGINEER 48 HOURS ADVANCE NOTICE PRIOR TO PLACING MATERIALS REQUIRING TESTING.
15. CONCRETE AND SOIL TESTING IS TO BE PERFORMED BY THE ENGINEER.
16. DETERMINATION OF MAXIMUM DENSITIES FOR SAND AND GRAVELS ARE THE RESPONSIBILITY OF THE CONTRACTOR. PROCTOR TESTS ORDERED BY THE ENGINEER SHALL BE SAMPLED AND PERFORMED BY AN INDEPENDENT TESTING LABORATORY, OBSERVED BY THE ENGINEER.
17. BUILDING AND SITE LAYOUT WILL BE COMPLETED BY A LICENSED LAND SURVEYOR, TO BE COORDINATED WITH THE ENGINEER.
18. BASE PLAN INFORMATION BASED ON DATA COLLECTED BY DIBERNARDO ASSOCIATES, LLC, JOSEPH DIBERNARDO, L.L.S. IN DECEMBER 2020.
19. LOCATION OF EXISTING UNDERGROUND DRAINAGE UTILITIES ARE UNKNOWN.
20. EXACT LOCATION OF EXISTING SEPTIC, SEWER LINE, AND OTHER UNDERGROUND UTILITIES ARE APPROXIMATE AND SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
21. OUTDOOR LIGHTING SHALL BE REPLACED IN-KIND WITH DARK SKY LIGHTS, AS CERTIFIED BY THE INTERNATIONAL DARK SKY FOUNDATION. THE SAME NUMBER OF OUTDOOR LIGHTS SHALL BE ON THE REPLACEMENT BUILDING, WITH LIGHTS TO BE LOCATED AT EACH EXIT DOOR AND AT THE OVERHEAD DOORS, AS APPLICABLE.
22. EXISTING SEPTIC SYSTEM IS APPROVED FOR CONSTRUCTION, OPERATIONAL APPROVAL NUMBER CA2014118683, FOR 40 EMPLOYEES TOTAL.
23. ALL WORK SHALL COMPLY WITH THE CONDITIONS OF THE NHDES PUBLIC WATER SYSTEM REVIEW FROM THE SMALL SYSTEMS ENGINEERING SECTION OF THE DRINKING WATER AND GROUNDWATER BUREAU.
24. ALL WORK SHALL COMPLY WITH THE CONDITIONS OF THE AND THE NHDES SUBSURFACE BUREAU COLLECTION SYSTEM TIE-IN WITH A NEW APPROVAL FOR CONSTRUCTION AND OPERATION.
25. THERE IS NO PROPOSED INCREASE IN THE DESIGN FLOW FOR THE POTABLE WATER AND WASTEWATER AS A RESULT OF THE REPLACEMENT BUILDING.

GEOTECHNICAL NOTES:

1. GEOTECHNICAL TESTING WAS COMPLETED PRIOR TO COMMENCING WORK ON THIS PROJECT.
2. VERIFICATION OF GEOTECHNICAL SOIL CONDITIONS SHALL BE COMPLETED PRIOR TO FOUNDATION AND WALL CONSTRUCTION.

CONSTRUCTION SEQUENCE NOTES:

1. INSTALL SEDIMENT AND EROSION CONTROL FACILITIES. ALL PERIMETER CONTROLS SHALL BE INSTALLED PRIOR TO EARTH MOVING OPERATIONS.
2. ALL SEDIMENT AND EROSION CONTROL SHALL BE IN ACCORDANCE WITH NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES BEST MANAGEMENT PRACTICES.
3. INSPECT SITE REGULARLY TO ENSURE PROPER FUNCTION OF SEDIMENT AND EROSION CONTROLS. SITE SHALL BE INSPECTED WEEKLY, AT A MINIMUM, AND ALSO AFTER/DURING SEVERE STORM EVENT(S), AFTER/DURING ANY RAINFALL THAT EXCEEDS 1/2 INCH IN 24 HOURS.
4. FINAL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED DOWNGRADIENT FROM ALL IMPACTS.
5. SITE EXISTING BUILDING.
6. INSTALL NEW FOUNDATION.
7. CONSTRUCT BUILDING ACCORDING TO ENGINEERED AND ARCHITECTURAL BUILDING DESIGN SPECIFICATIONS.
8. INSTALL PERMANENT STORM WATER RUNOFF STRUCTURES.
9. INSTALL NEW UNDERGROUND ELECTRIC UTILITIES.
10. INSTALL NEW WATER LINE.
11. INSTALL NEW SEPTIC TANK CONNECTION AND PRESSURE SEWER LINE.
12. RESTORE IMPACTED SITE AREA, INCLUDING INSTALLATION OF LANDSCAPING.
13. RE-CONSTRUCT IMPACTED AREAS OF DRIVEWAY AND PARKING AREA.
14. REMOVE SEDIMENT AND EROSION CONTROL MEASURES UPON SITE STABILIZATION.
15. CONTRACTOR IS RESPONSIBLE FOR LOCATION OF UTILITIES AND AVOIDING DAMAGE DURING CONSTRUCTION. ALL EXISTING UNDERGROUND UTILITY LOCATIONS SHOWN ON PLANS ARE APPROXIMATE AND SHALL BE VERIFIED. DIGSAFE SHALL BE CONTACTED BY CONTRACTOR PRIOR TO COMMENCING EXCAVATION.

GENERAL UTILITY NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE LOCATION OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION PROCEDURE. THERE ARE OVERHEAD POWER TRANSMISSION LINES AND OTHER UTILITIES WITH ROADWAY CROSSING AND LINES IN THE IMMEDIATE VICINITY OF THE BRIDGE. THE CONTRACTOR IS ADVISED THAT EXTREME CAUTION WILL BE REQUIRED IN THE OPERATION OF EQUIPMENT, ESPECIALLY CRANES. CONTACT DIG-SAFE AT 1-888-DIG-SAFE.
2. ALL UTILITY INSTALLATIONS, INCLUDING THE LOCATION, SIZE, DEPTH, AND SPECIFICATION FOR CONSTRUCTION OF THE PROPOSED UTILITY SERVICES SHALL BE INSTALLED UNDER THE SUPERVISION OF AND COMPLYING WITH THE REQUIREMENTS OF THE RESPECTIVE UTILITY COMPANY (ELECTRIC, TELEPHONE, CABLE, ETC.)
3. DAMAGE TO ANY UTILITY BY THE CONTRACTOR SHALL BE REPORTED TO THE UTILITY COMPANY. REPAIR OF THE UTILITY SHALL BE PAID FOR BY THE CONTRACTOR.
4. PROPOSED UNDERGROUND UTILITY LINE LOCATION IS APPROXIMATE. FINAL LOCATION SHALL BE DETERMINED IN THE FIELD AND WILL BE IN COMPLIANCE WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS.

SEWER SERVICE DETAILS

1. SEWER CONNECTION SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS OF THE NHDES NEW CONSTRUCTION APPROVAL FOR NEW COLLECTION SYSTEM TIE-IN.
2. POLYETHYLENE PIPE SHALL CONFORM TO AMERICAN WATER WORKS ASSOCIATION (AWWA) C901, STANDARD FOR POLYETHYLENE (PE) PRESSURE PIPE AND TUBING.
3. ALL PIPE SHALL HAVE A PRESSURE CLASS OF PC 200 WITH AN OUTSIDE DIAMETER RATIO (DR) OF 9 AT 73.4 DEGREES F.
4. PE FITTINGS SHALL MEET THE REQUIREMENTS OF AWWA C901 AND BE OF THE SAME (OR HIGHER) PRESSURE RATING AS THE PIPE LINE.
5. PIPE JOINTS SHALL BE OF THE COMPRESSION TYPE UTILIZING A TOTALLY CONFINED GRIP SEAL AND COUPLING NUT. STAINLESS STEEL TUBE STIFFENER INSERT SHALL BE USED THAT DO NOT EXTEND BEYOND THE CLAMP OR COUPLING NUT.
6. DETECTABLE WARNING TAPE SHALL BE PROVIDED, WITH A POLYETHYLENE FILE, ENCASING A METALLIC CORE, MINIMUM 6 INCHES WIDE AND COLOR-CODED GREEN FOR SEWER, BEARING IN BLACK LETTERS THE CONTINUOUS LEGEND, "CAUTION - PRESSURE MAIN BURIED BELOW".
7. DETECTABLE WARNING TABLE TO BE INSTALLED DIRECTLY ABOVE PIPELINE, A MINIMUM OF 18 INCHES BELOW FINISHED GRADE BUT NO LESS THAN 24 INCHES ABOVE THE CROWN OF THE PIPE.
8. A HYDROSTATIC PRESSURE TEST SHALL BE CONDUCTED WITH 50 POUNDS PER SQUARE INCH (PSI) OR 150% OF THE NORMAL WORKING PRESSURE, WHICHEVER IS GREATER, FOR 30 MINUTES. IF THE PRESSURE DOES NOT DROP WITHIN THE 30-MINUTE TEST PERIOD, THE TEST SHALL BE DEEMED SUCCESSFUL.
9. ALL WORK SHALL BE IN COMPLIANCE WITH ENV-WQ 704.07.

DRAINAGE NOTES:

1. LOCATIONS OF DISCHARGE FOR ROOF DRAINS OF EXISTING BUILDING ARE UNKNOWN.
2. IF IMPACTS TO THIS DRAINLINE OCCUR DURING CONSTRUCTION, THEY SHALL BE TIED-INTO PROPOSED DRAINAGE SYSTEM.
3. A CLEAN-OUT SHALL BE INSTALLED AT EACH ROOF DRAIN CONNECTION TO PROPOSED DRAIN LINE.

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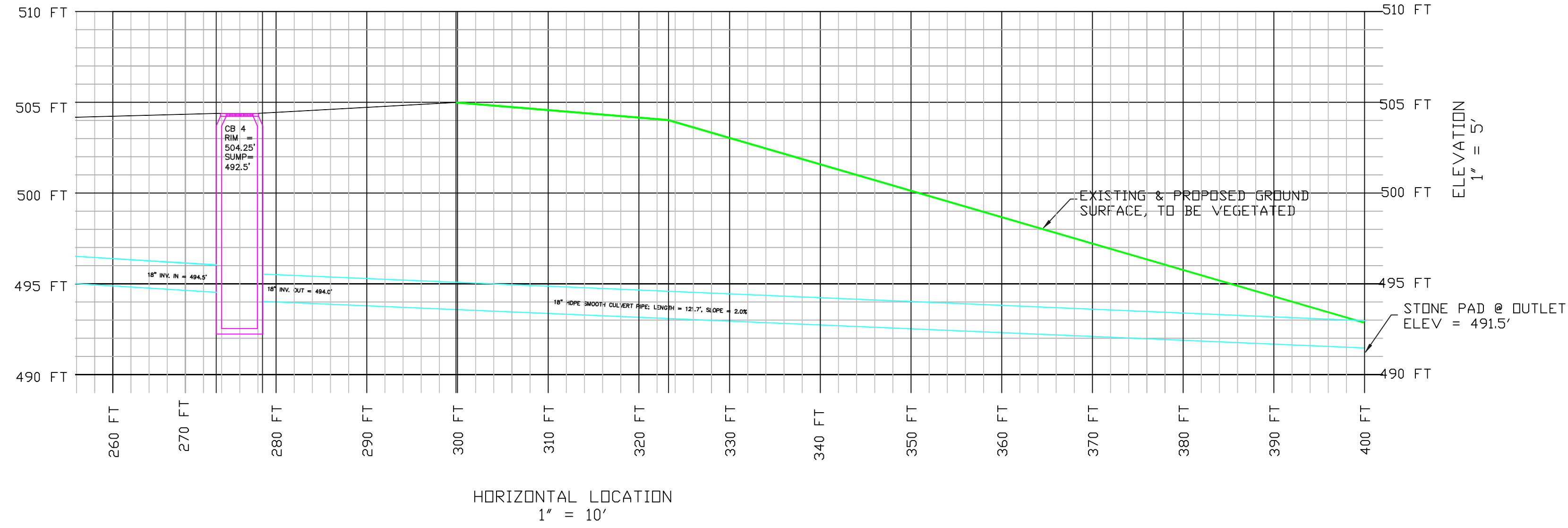
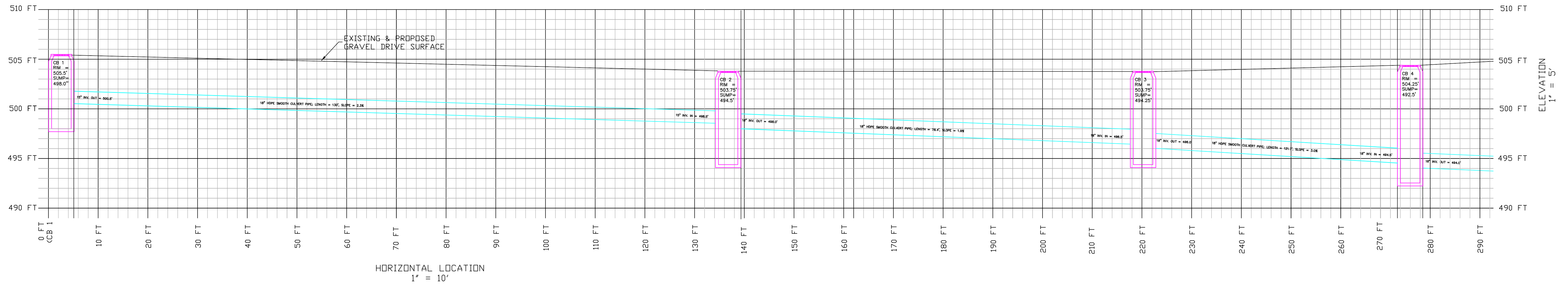
CONSTRUCTION DETAILS
NEW FACILITY BUILDING
TOWNLINE EQUIPMENT
1474 NH ROUTE 12A
TAX MAP 268, LOT 7
PLAINFIELD, NEW HAMPSHIRE
FEBRUARY 19, 2021

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PROPOSED DRAINAGE LINE PROFILE



EXISTING CATCHBASIN SCHEDULE

CATCHBASIN NUMBER	RIM ELEV.	SUMP ELEV.	INV. IN ELEV.	INV. IN PIPE TYPE & SIZE	INV. OUT ELEV.	INV. OUT PIPE TYPE & SIZE
1	505.21'	unknown	503.40'	6" PVC	503.30'	6" PVC
2	502.59'	unknown	499.59'	6" PVC	499.29'	6" PVC
3	503.85'	unknown	496.60'	12" CPP	496.60'	12" CPP
4	501.00'	unknown	n/a	n/a	499.90'	8" CPP
5	505.20'	unknown	n/a	n/a	505.20'	6" PVC
6	488.62'	486.00'	unknown	unknown	unknown	unknown

PROPOSED CATCHBASIN SCHEDULE

CATCHBASIN NUMBER	RIM ELEV.	SUMP ELEV.	INV. IN ELEV.	INV. IN PIPE TYPE & SIZE	INV. OUT ELEV.	INV. OUT PIPE TYPE & SIZE
1	505.5'	498.0'	n/a	n/a	500.5'	15" HDPE
2	503.75'	494.5'	498.5'	15" HDPE	498.0'	18" HDPE
3	503.75'	494.25'	496.5'	18" HDPE	496.0'	18" HDPE
4	504.25'	492.5'	494.5'	18" HDPE	494.0'	18" HDPE

GENERAL NOTES

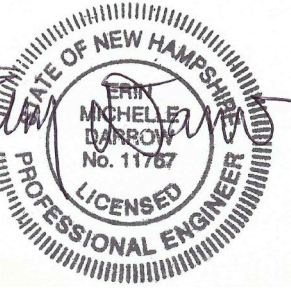
- THIS PLAN HAS BEEN PREPARED FOR REVIEW BY THE TOWN OF PLAINFIELD, NEW HAMPSHIRE PLANNING BOARD FOR SITE PLAN REVIEW.
- BASE PLAN INFORMATION BASED ON FIELD SURVEY DATA COLLECTED BY DIBERNARDO ASSOCIATES, LLC, IN NOVEMBER AND DECEMBER 2020, AND JANUARY 2021. ELEVATION IS TIED INTO NORTH AMERICAN VERTICAL DATUM (NAVD88).
- ALL WETLANDS WERE DELINEATED IN ACCORDANCE WITH THE ARMY CORPS OF ENGINEERS METHOD FOR THE DELINEATION OF WETLANDS, JANUARY 1987, BY BEAVER TRACKS LLC, JONATHAN SISSON, C.S.S., C.W.S., IN JANUARY 2021.
- PLAN IS INTENDED FOR PLANNING PURPOSES ONLY AND IS NOT FOR CONSTRUCTION.

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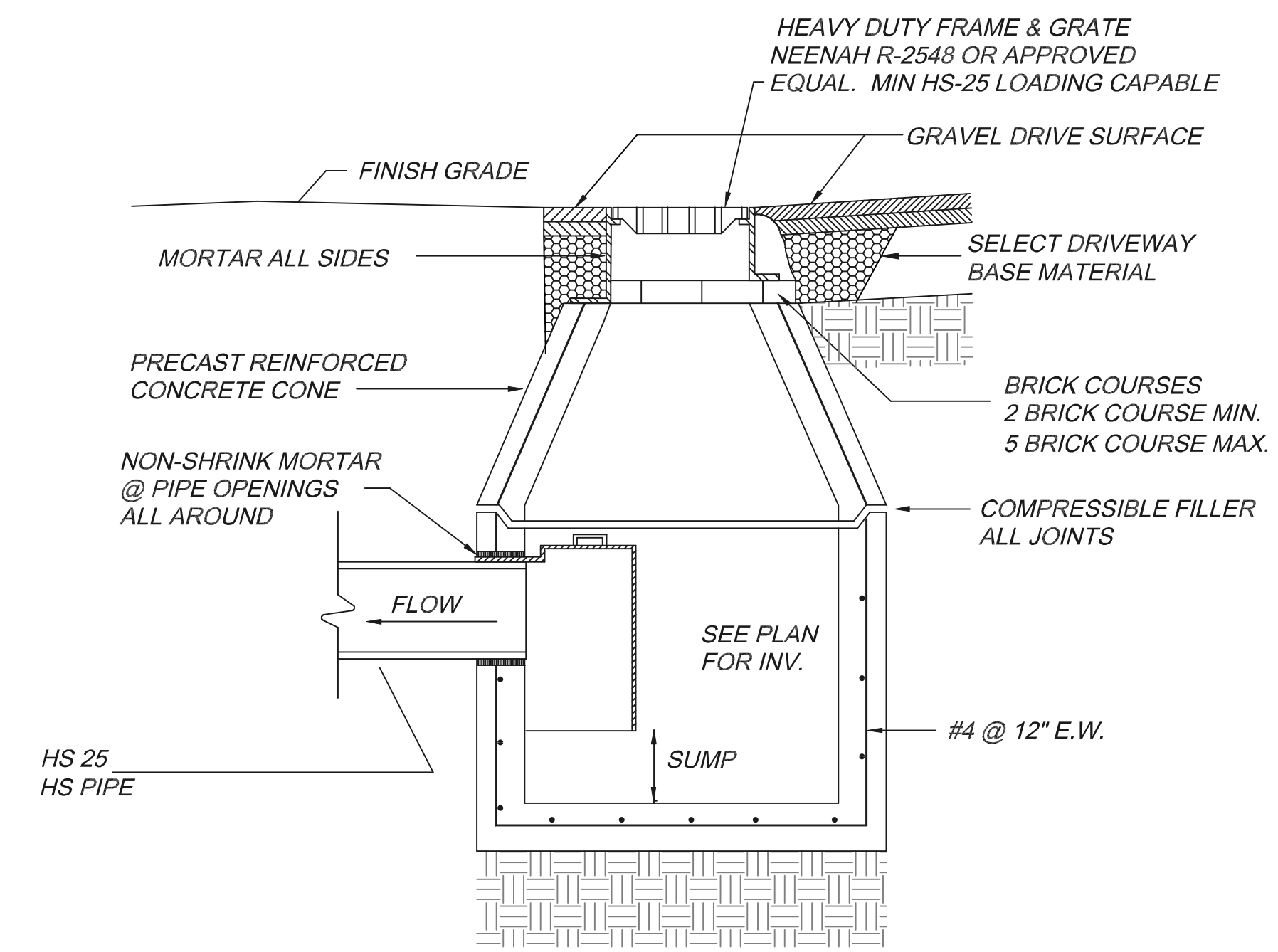
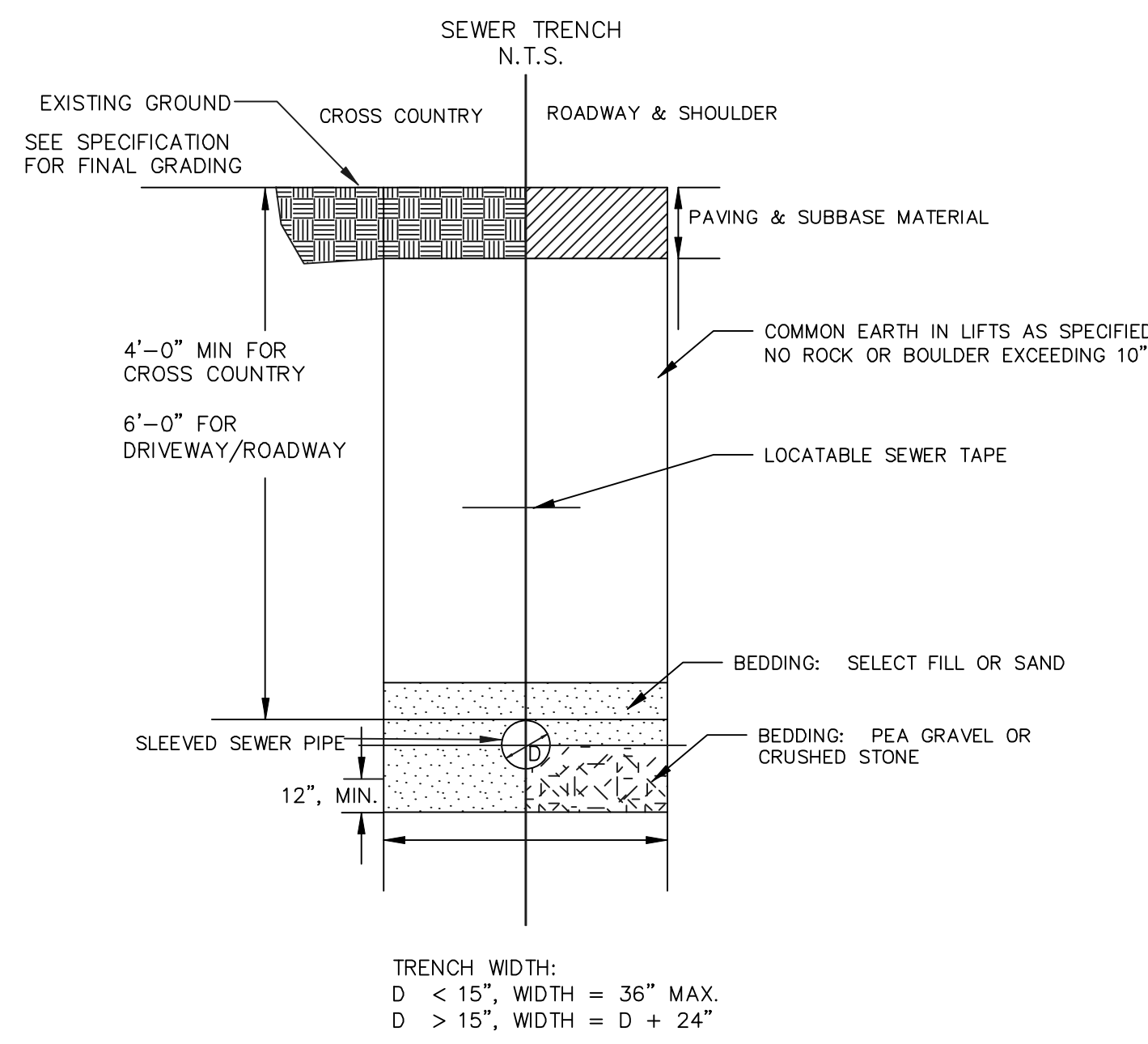
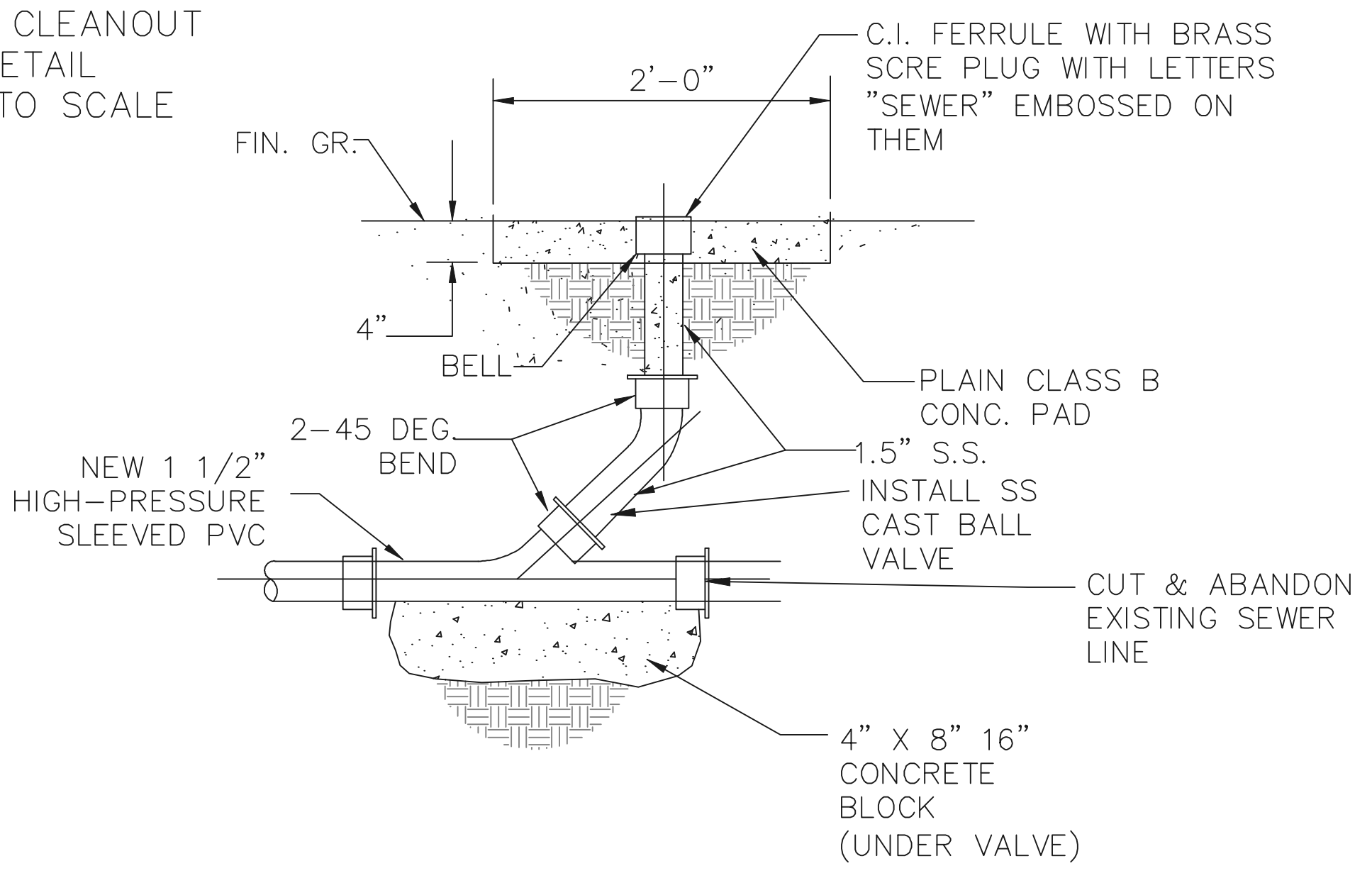


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DRAINAGE DETAILS & SCHEDULE
NEW FACILITY BUILDING
TOWNLINER EQUIPMENT
1474 NH ROUTE 12A
TAX MAP 258, LOT 7
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**SEWER CLEANOUT
DETAIL
NOT TO SCALE**

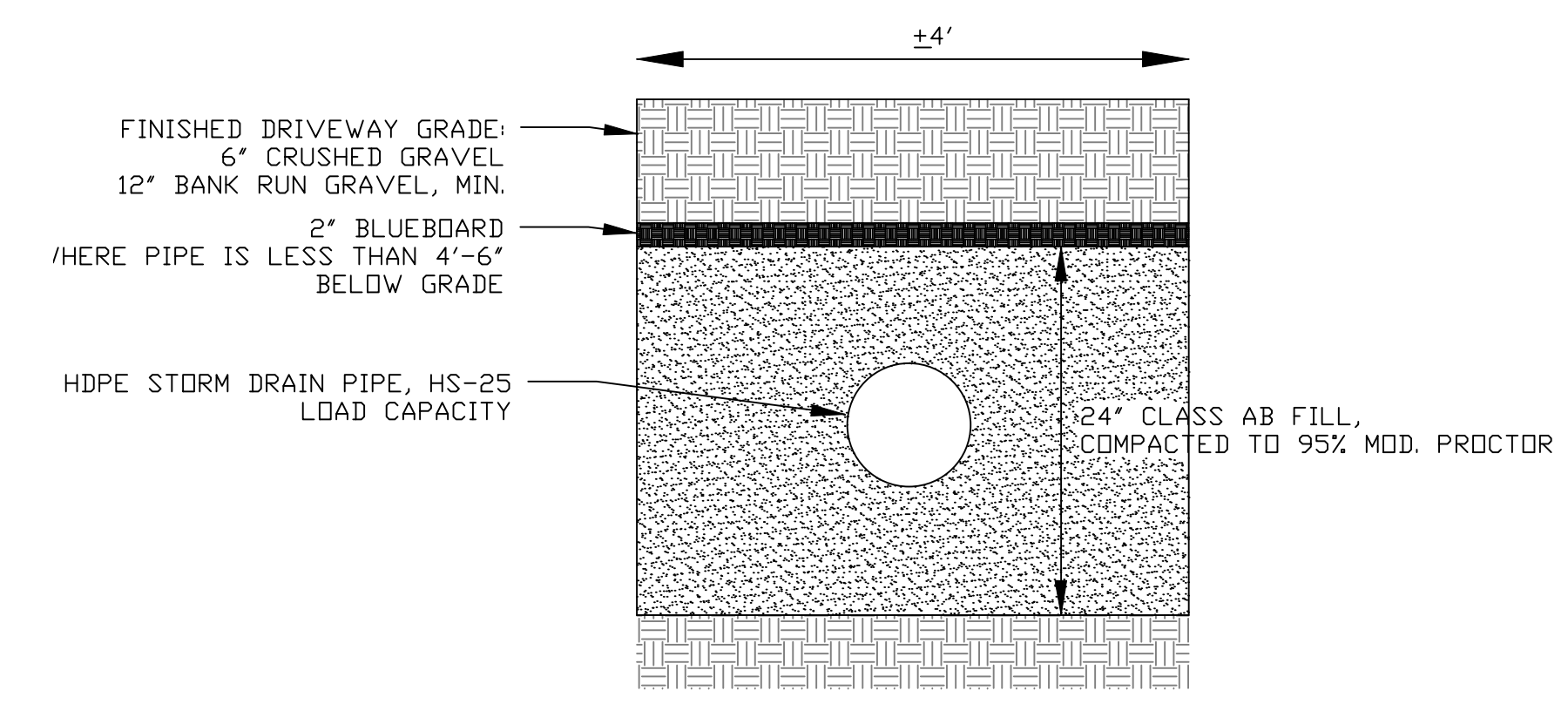


NOTE: ALL CATCH BASINS SHALL MEET THE REQUIREMENTS OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION

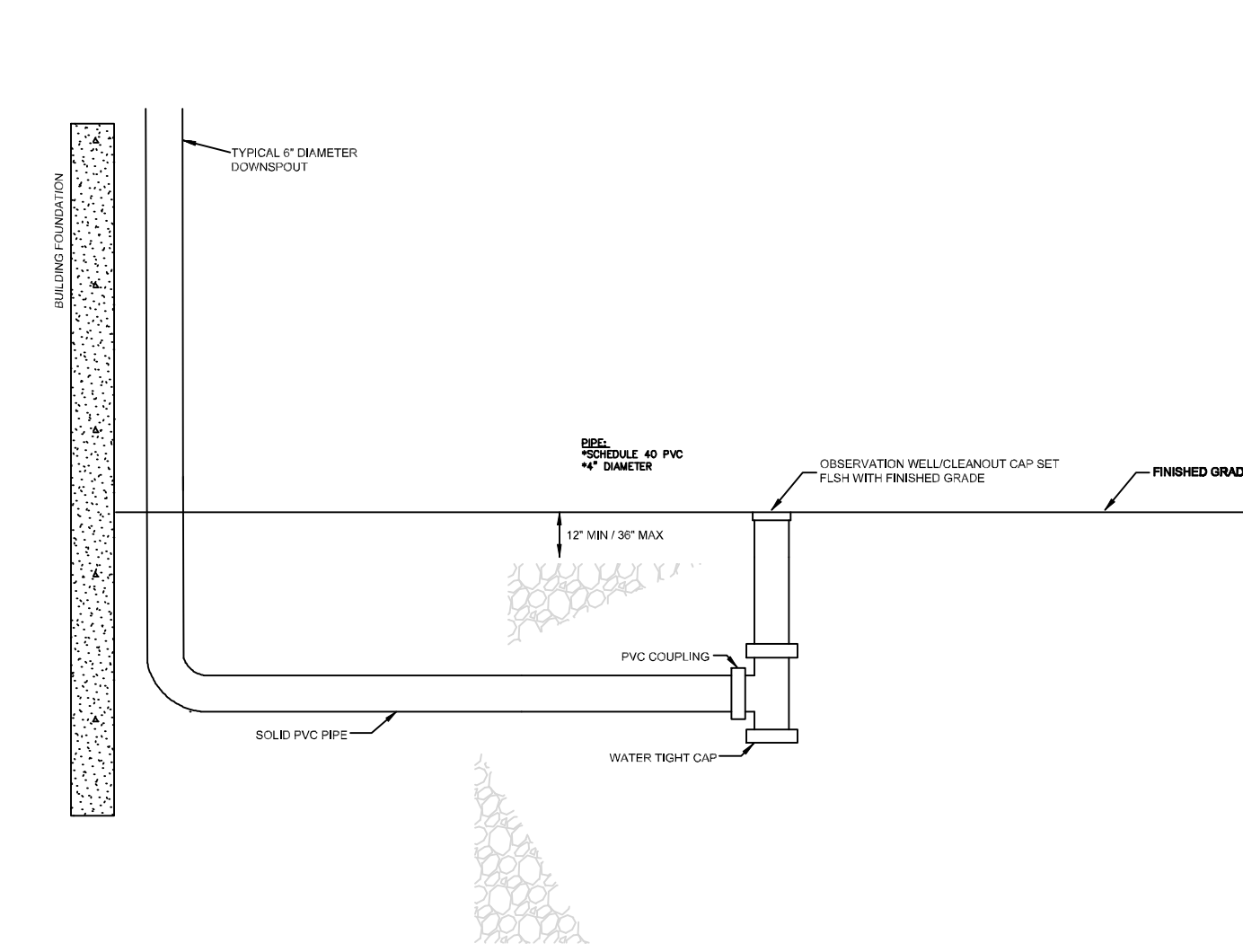
**TYP. PRECAST CONCRETE CATCH BASIN DETAIL
NOT TO SCALE**

1. ALL CATCHBASINS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
2. 12" OF 3/4" CLEAN STONE SHALL BE PLACED UNDER CATCHBASINS. SHOULD UNSUITABLE MATERIAL BE ENCOUNTERED, THEN STABILIZATION FABRIC AND ADDITION STONE MAY BE NEEDED.

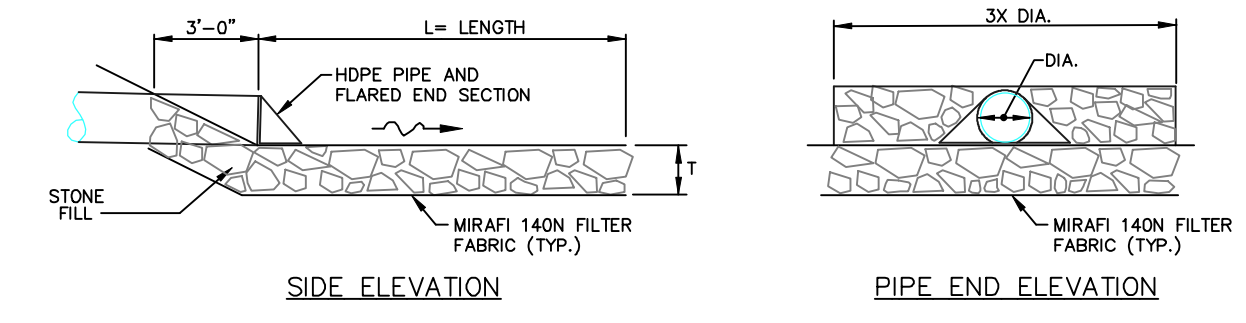
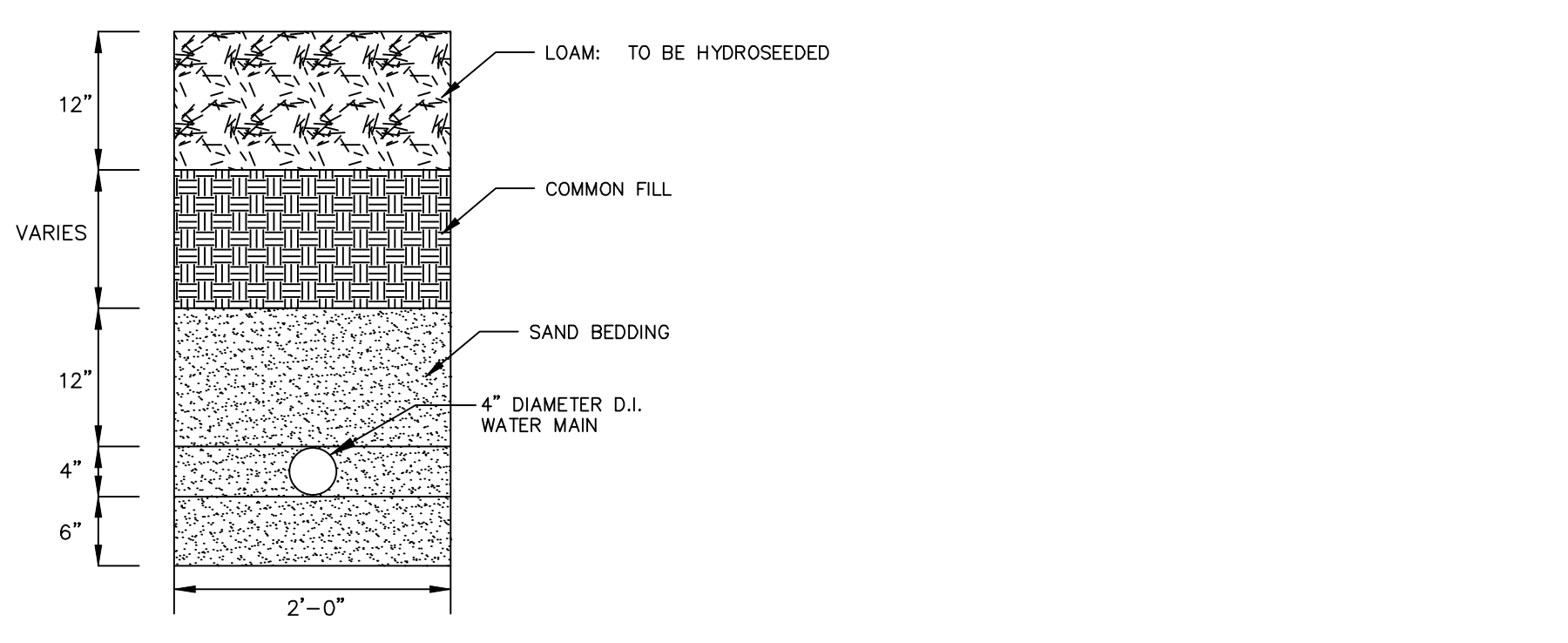
**STORM DRAIN DETAIL
NOT-TO-SCALE**



ROOF DRAIN DETAIL



WATER LINE TRENCH UNDER LAWN AREA



**STONE PAD PIPE OUTLET DETAIL
NOT TO SCALE**

NOTE: CLASS A, B AND C STONE FILL SHALL CONSIST OF HARD, BLASTED ANGULAR ROCK REASONABLY WELL GRADED FROM SMALLEST TO MAXIMUM SIZE STONE SO AS TO FORM A COMPACT MASS WHEN IN PLACE.

CONSTRUCTION SPECIFICATIONS

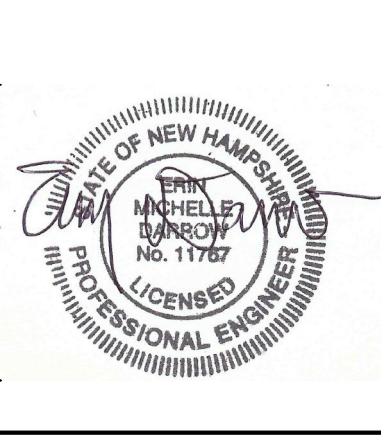
1. THE SUBGRADE FOR THE FILTER MATERIAL, GEOTEXTILE FABRIC, AND STONE FILL SHALL BE PREPARED THE THE LINES AND GRADES SHOWN ON THE PLANS.
2. THE ROCK USED FOR THE STONE FILL SHALL CONFORM TO NHDOT CLASS C, OR 6" RIP RAP.
3. GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE ROCK STONE FILL. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TOW PIECES OF FABRIC SHALL BE A MINIMUM OF 12 INCHES.
4. STONE FOR THE STONE FILL MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE STONE SIZES.

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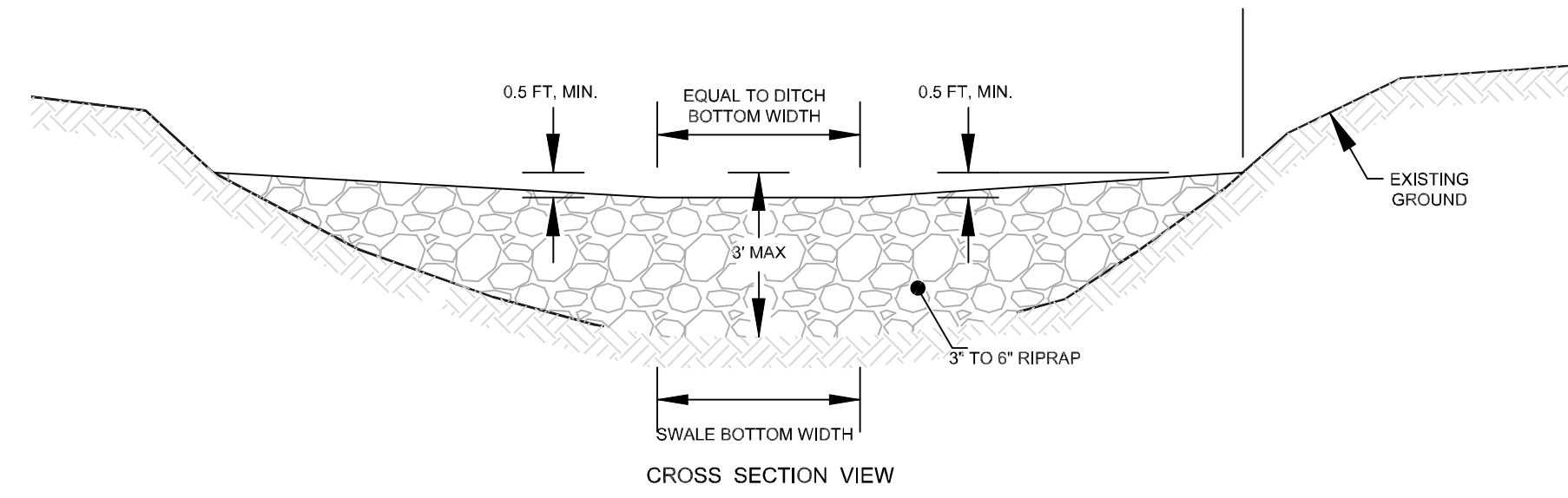
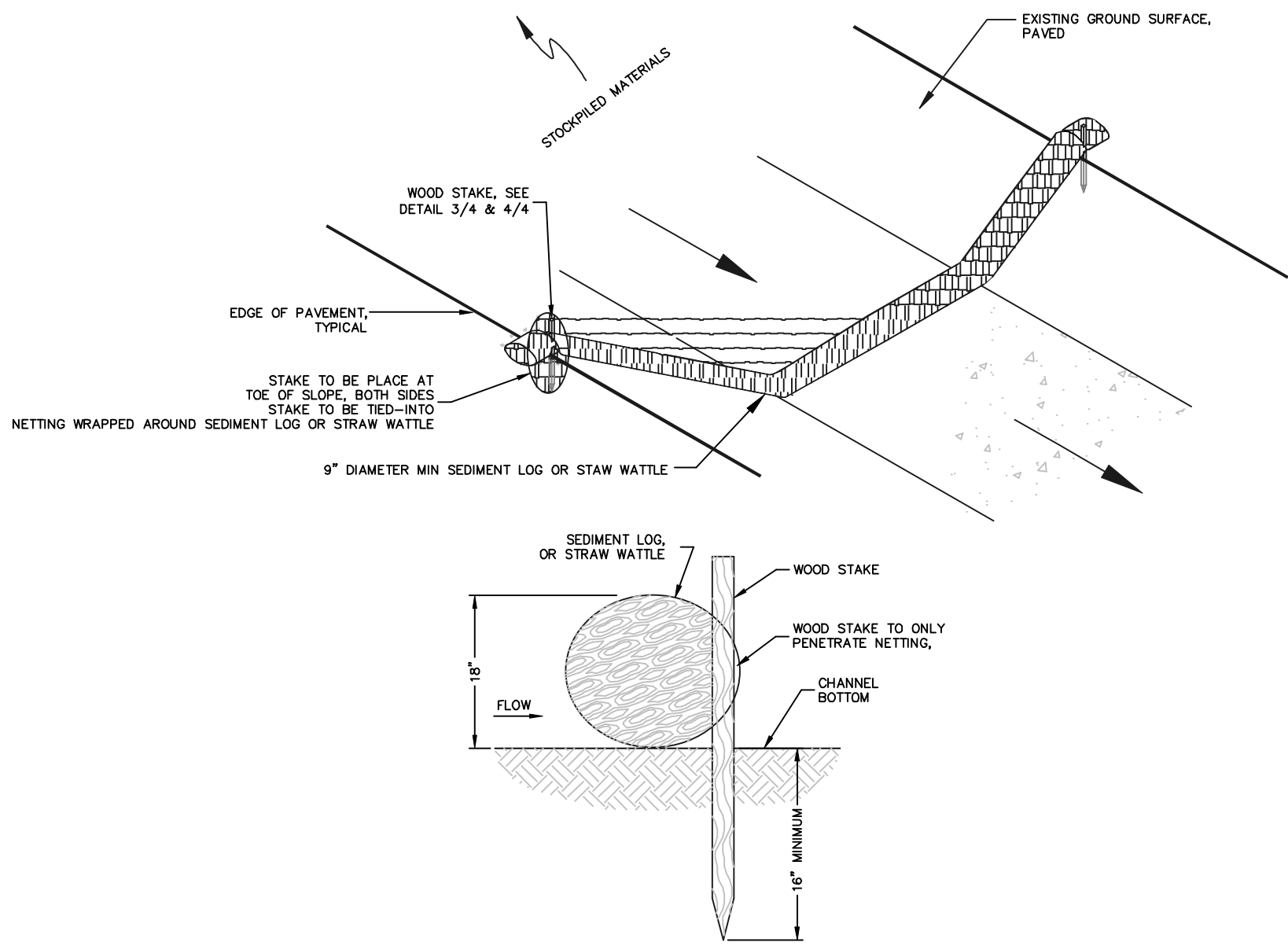
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CONSTRUCTION DETAILS
NEW FACILITY BUILDING
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1474 NH ROUTE 12A
TAX MAP 258, LOT 7
PLAINFIELD, NEW HAMPSHIRE
FEBRUARY 19, 2021

SEDIMENT LOG BARRIER

NOT-TO-SCALE

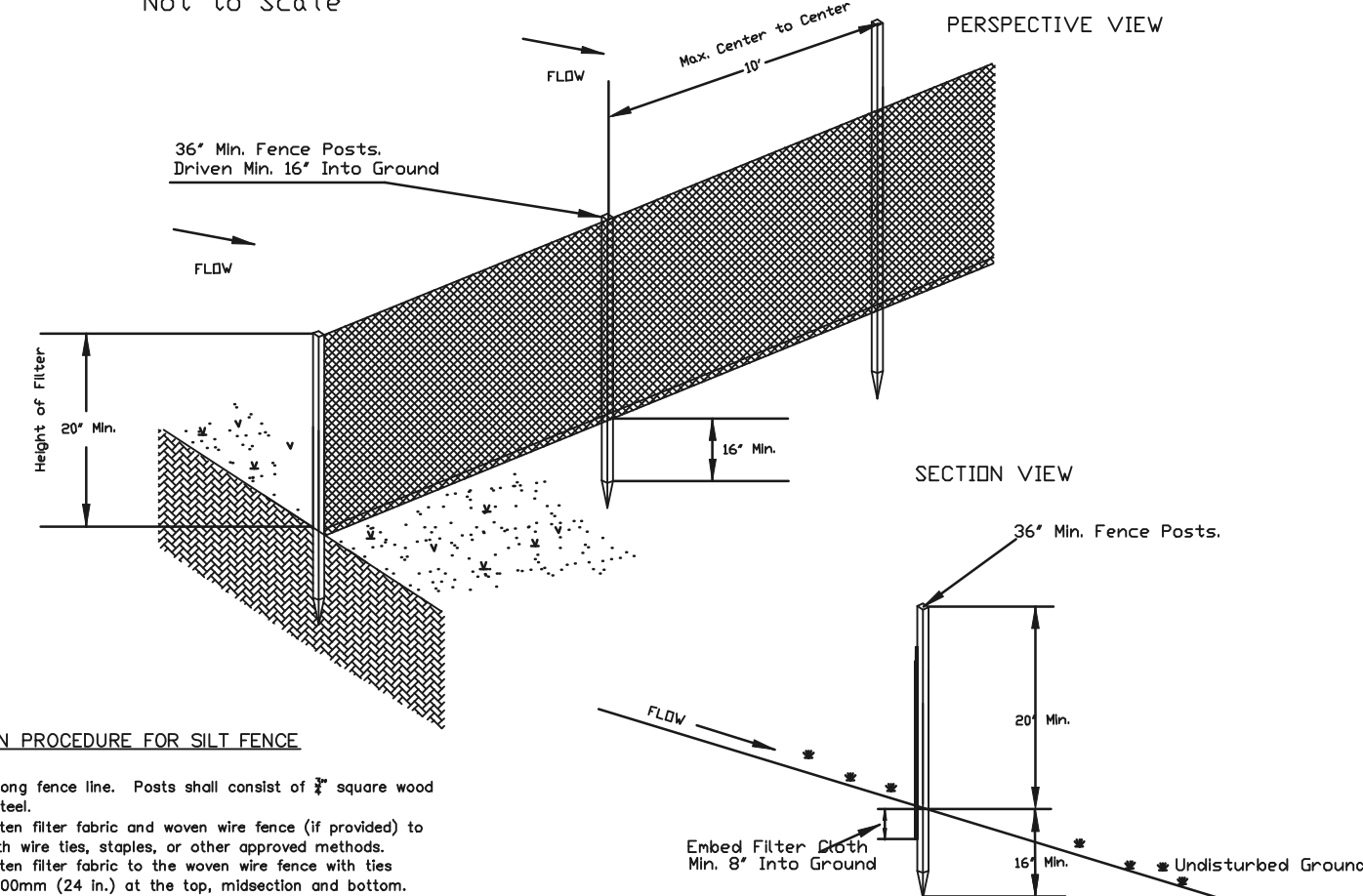


ROCK CHECK DAM
NOT-TO-SCALE

- NOTES:
- FOR SEDIMENT CONTROL THE MAXIMUM HEIGHT OF THE ROCK CHECK DAM IS 3 FEET. HOWEVER, ROCK CHECK DAMS CAN BE CONSTRUCTED IN SMALLER DITCHES. THE CENTER OF THE ROCK CHECK DAM SHALL BE 0-4\"/>
 - ROCK CHECK DAMS SHALL BE INSTALLED STARTING AT TOP OF NEW DITCH AND AT 50-FOOT INTERVALS THEREAFTER AS SHOWN ON SITE PLAN.
 - THE CENTER OF ROCK CHECK DAMS CONSTRUCTED IN PROJECT CONSTRUCTED \"VEE\" SHAPED OR EXISTING \"VEE\" SHAPED DITCHES SHALL BE 0-4\"/>
 - ROCK CHECK DAMS SHALL BE REMOVED AFTER THE FIRST GROWING SEASON.

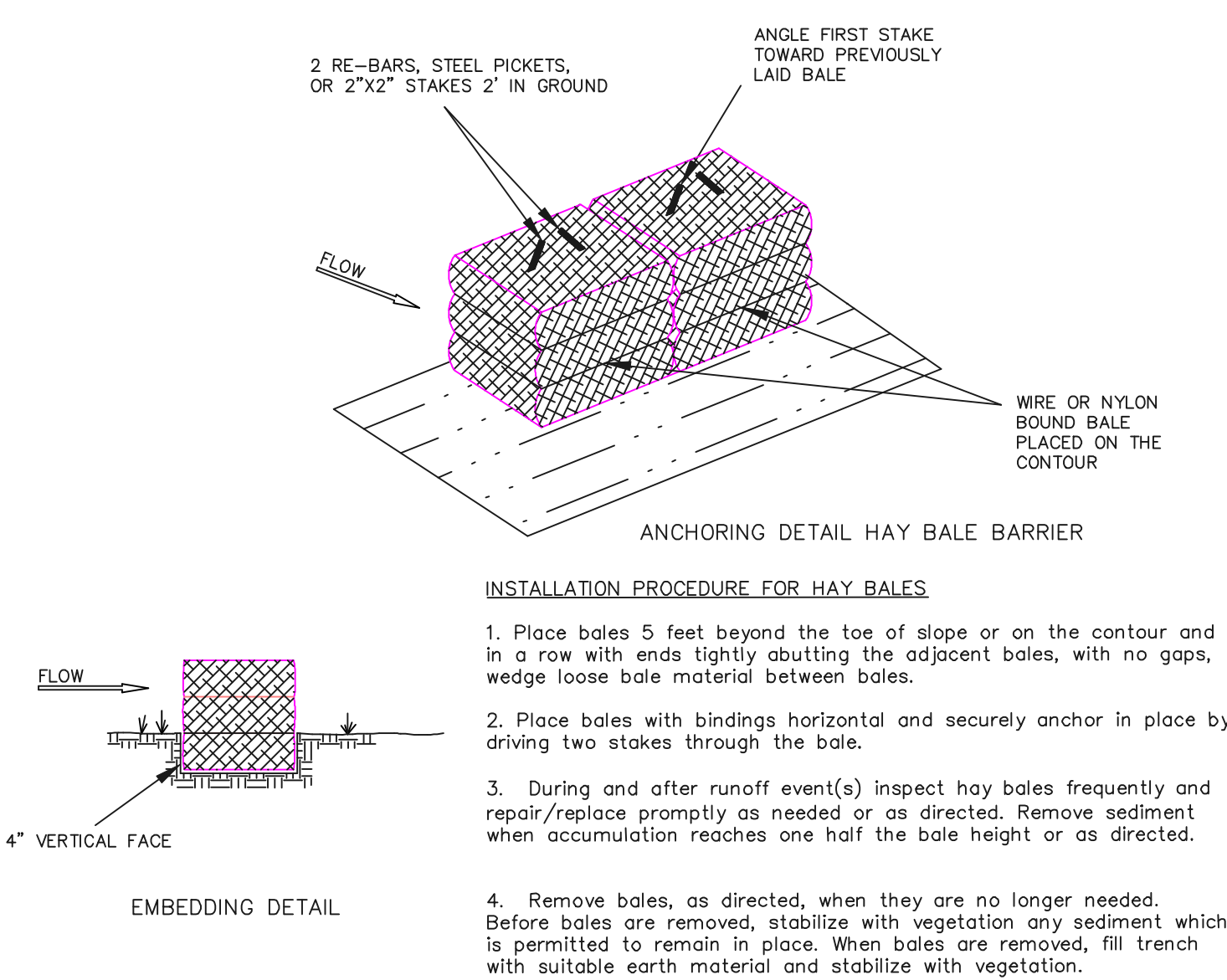
SILT FENCE

Not to Scale



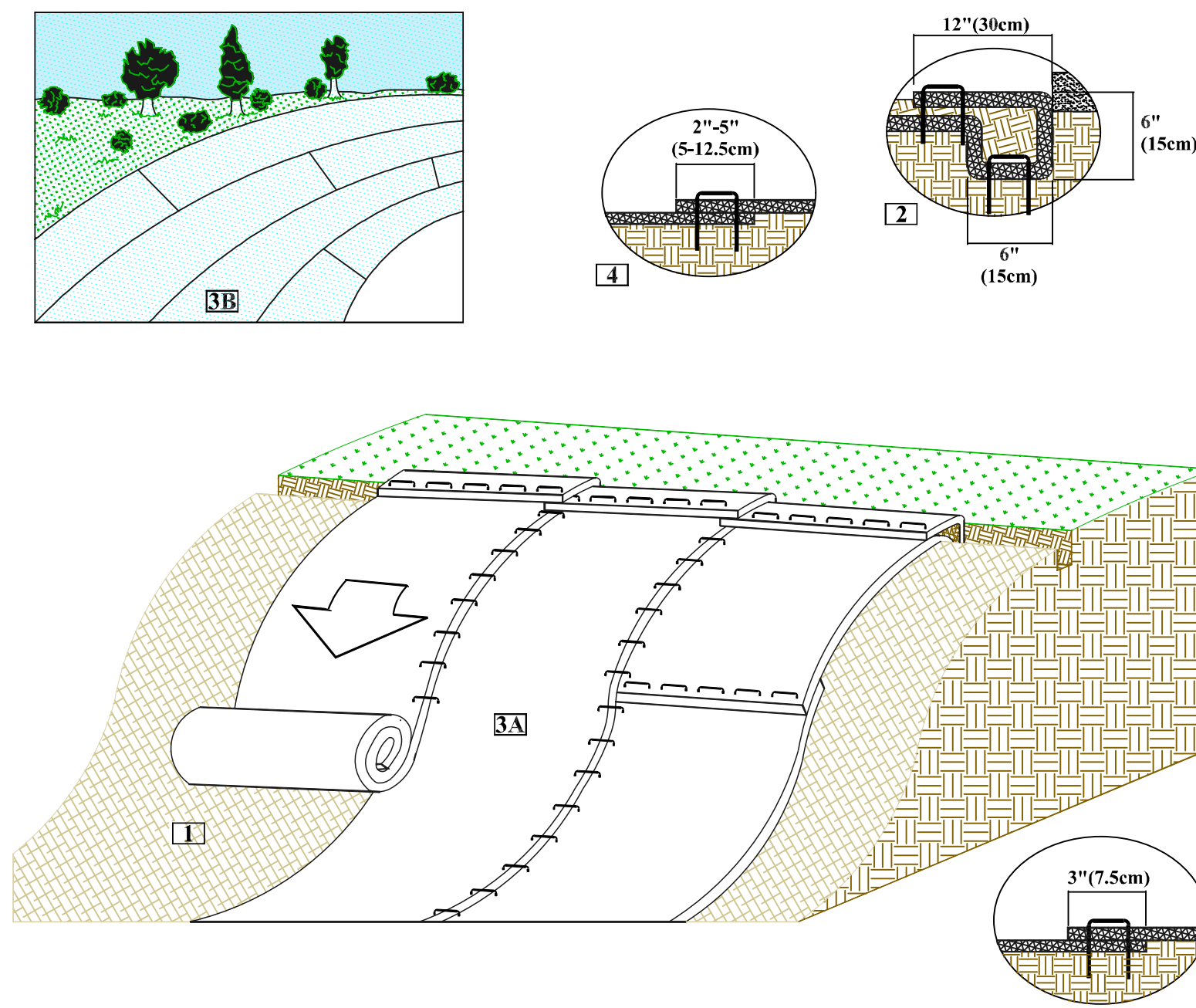
- INSTALLATION PROCEDURE FOR SILT FENCE
- Set posts along fence line. Posts shall consist of 2\"/>
 - Securely fasten filter fabric and woven wire fence (if provided) to fence posts with wire ties, staples, or other approved methods.
 - Securely fasten filter fabric to the woven wire fence with the staples every 600mm (24 in.) at the top, midsection and bottom.
 - When two sections of filter fabric adjoin each other, overlap the sections by 150mm (6 in.), fold, and staple at a post. Securely splice woven wire fence at a post.
 - Place silt fence 1500 mm (5 ft.) beyond the toe of slope or on the contour. At the end of 80' fence runs, fore splash.
 - Inspect during and after significant runoff event(s). Perform maintenance as needed or directed and remove material when \"bulges\" develop in the silt fence.
 - Remove silt fence, as directed, when no longer needed. Before the silt fence is removed, stabilize with vegetation any sediment which is permitted to remain in place.

HAY BALE



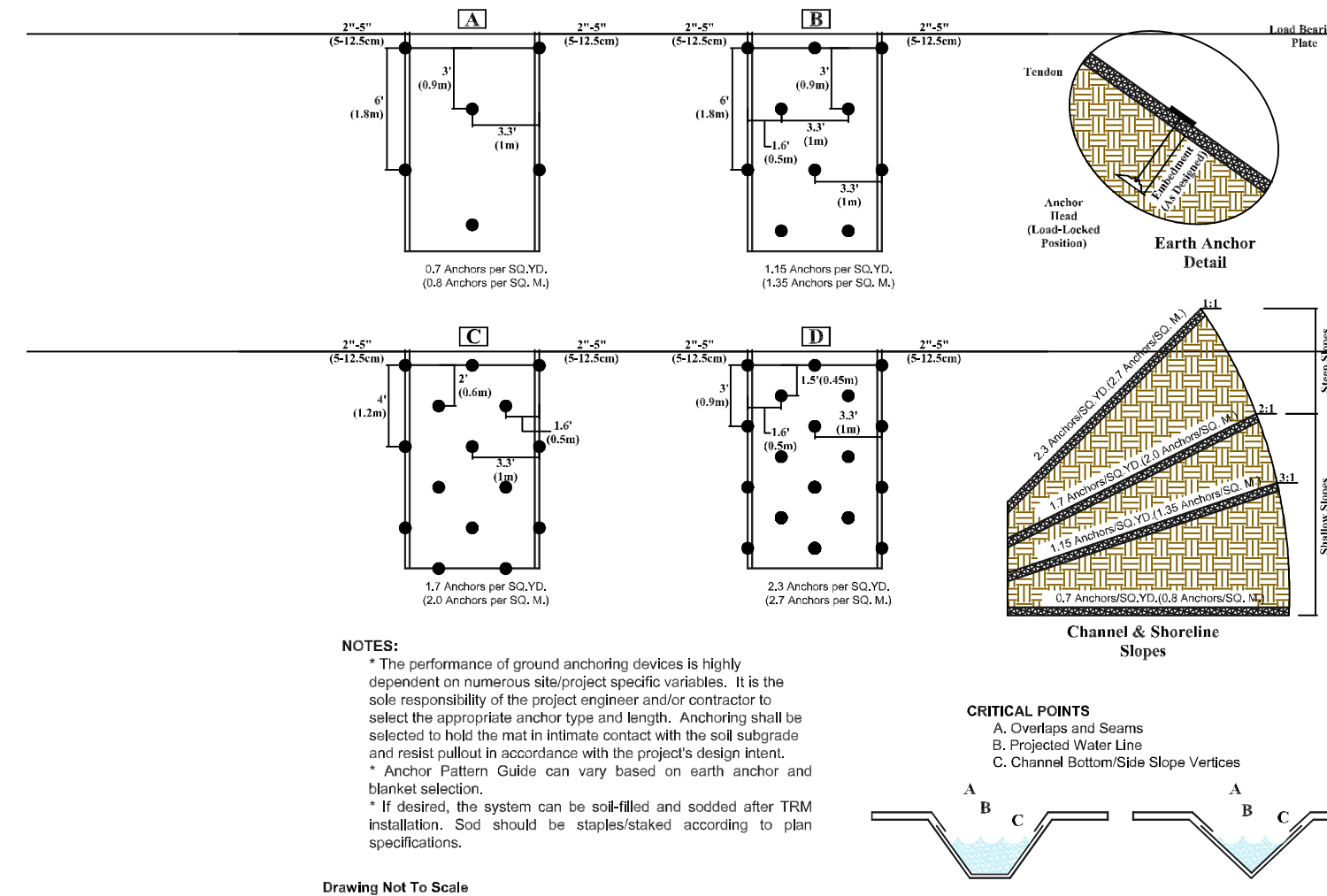
- INSTALLATION PROCEDURE FOR HAY BALES
- Place bales 5 feet beyond the toe of slope or on the contour and in a row with ends tightly abutting the adjacent bales, with no gaps, wedge loose bale material between bales.
 - Place bales with bindings horizontal and securely anchor in place by driving two stakes through the bale.
 - During and after runoff event(s) inspect hay bales frequently and repair/replace promptly as needed or as directed. Remove sediment when accumulation reaches one half the bale height or as directed.
 - Remove bales, as directed, when they are no longer needed. Before bales are removed, stabilize with vegetation any sediment which is permitted to remain in place. When bales are removed, fill trench with suitable earth material and stabilize with vegetation.

SLOPE INSTALLATION DETAIL



- Prepare soil before installing rolled erosion control products (RECPs), including any necessary application of lime, fertilizer, and seed.
- Begin at the top of the slope by anchoring the RECPs in a (715cm) deep X (715cm) wide trench with approximately 12\"/>
- Roll the RECPs (A) down or (B) horizontally across the slope. RECPs will unroll with appropriate side against the soil surface. All RECPs must be securely fastened to soil surface by placing staples/stakes in appropriate locations as shown in the staple pattern guide.
- The edges of parallel RECPs must be stapled with approximately 2\"/>
- Consecutive RECPs applied down the slope must be end over end (single style) with an approximate (317.5cm) overlap. Staple through overlapped area, approximately 12\"/>

SLOPE INSTALLATION EARTH ANCHOR (EA) DETAIL



- NOTES:
- The performance of ground anchoring devices is highly dependent on numerous site-specific variables. It is the sole responsibility of the project engineer/anchor contractor to select the appropriate anchor type and length. Anchors shall be selected to hold the mat in intimate contact with the soil substrate and resist pullout in accordance with the project design intent.
 - Anchor Pattern Guide can vary based on earth anchor and blanket selection.
 - If desired, the system can be soil-filled and sodded after TRM installation. Sod should be stapled/staked according to plan specifications.

- Prepare soil before installing High-performance turf reinforcement mats (HP-TRMs), including any necessary application of lime, fertilizer, and seed.
- Begin at the top of the slope by anchoring the HP-TRMs in a (715 cm) deep x 4\"/>
- Roll the HP-TRMs (A) down or (B) horizontally across the slope. HP-TRMs will unroll with appropriate side against the soil surface. All HP-TRMs must be securely fastened to soil surface by placing staples/stakes in appropriate locations as shown in the staple pattern guide.
- The edges of parallel HP-TRMs must be stapled with approximately 2\"/>
- Consecutive HP-TRMs applied down the slope must be end over end (single style) with an approximate (317.5cm) overlap. Staple through overlapped area, approximately 12\"/>

NOTE: In loose soil conditions, the use of staples or stake lengths greater than (715cm) may be necessary to properly secure the HP-TRMs.

VEGETATIVE MEASURES

TOPSOIL STOCKPIILING: TOPSOIL SHALL BE STRIPPED AND STOCKPIILED FOR LATER USE ON CRITICAL AREAS AND ALL OTHER AREAS TO BE SEEDED. THE STOCK PILE WILL NOT BE COMPACTED AND SHALL BE STABILIZED AGAINST EROSION WITH TEMPORARY SEEDING.

TEMPORARY SEEDING:

A) BEDDING: REMOVE STONES AND TRASH THAT WILL INTERFERE WITH SEEDING THE AREA. WHERE FEASIBLE, TILL THE SOIL TO A DEPTH OF ABOUT THREE INCHES TO PREPARE SEED BED AND MIX THE FERTILIZER INTO THE SOIL.

B) FERTILIZER: FERTILIZER SHOULD BE UNIFORMLY SPREAD OVER THE AREA PRIOR TO BEING TILLED INTO THE SOIL. A 10-10-10 MIX OF FERTILIZER SHOULD BE APPLIED AT A RATE OF 300 POUNDS PER ACRE (OR 7 POUNDS PER 1,000 S.F.)

C) SEED MIXTURE: USE ANY OF THE FOLLOWING:

SPECIES	PER ACRE	PER 1000 S.F.	DATES
WINTER RYE	112 LBS.	2.6 LBS.	8/15 - 10/1 (FALL)
OATS	80 LBS.	2.0 LBS.	4/1 - 7/1 ; 8/15 - 9/15
RYEGRASS (ANNUAL)	40 LBS.	1.0 LBS.	4/1 - 6/1
RYEGRASS (PERENNIAL)	30 LBS.	0.7 LBS.	4/1 - 6/1 ; 8/15 - 9/15

D) MULCHING: MULCH SHALL BE USED ON HIGHLY ERODABLE SOIL, ON CRITICALLY ERODING AREAS, AND ON AREAS WHERE CONSERVATION OF MOISTURE WILL FACILITATE PLANT ESTABLISHMENT.

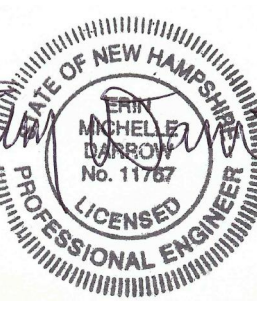
TYPE	RATE PER 1,000 S.F.	USE AND COMMENTS
HAY OR STRAW	70 TO 90 LBS.	MUST BE DRY AND FREE OF MOLD. MAY BE USED WITH PLANTINGS.
WOOD CHIPS OR BARK MULCH	160 TO 920 LBS.	USED MOSTLY WITH TREES AND SHRUBS PLANTINGS.
JUTE AND FIBROUS MATTING	AS PER MANUFACTURERS SPECIFICATIONS	USED IN SCOPE AREAS. WATER COURSED AND OTHER AREAS.
CRUSHED STONE 1/2\"/>		

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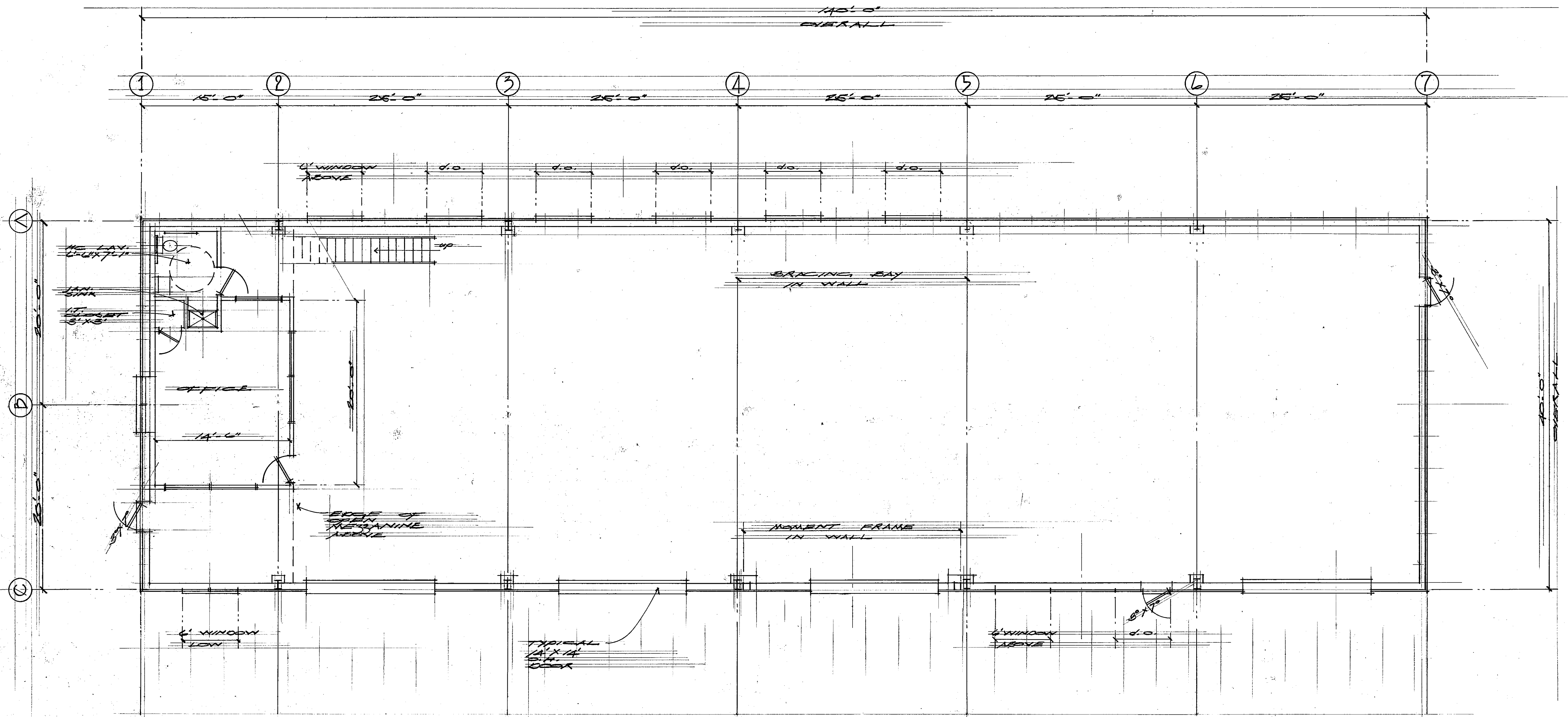
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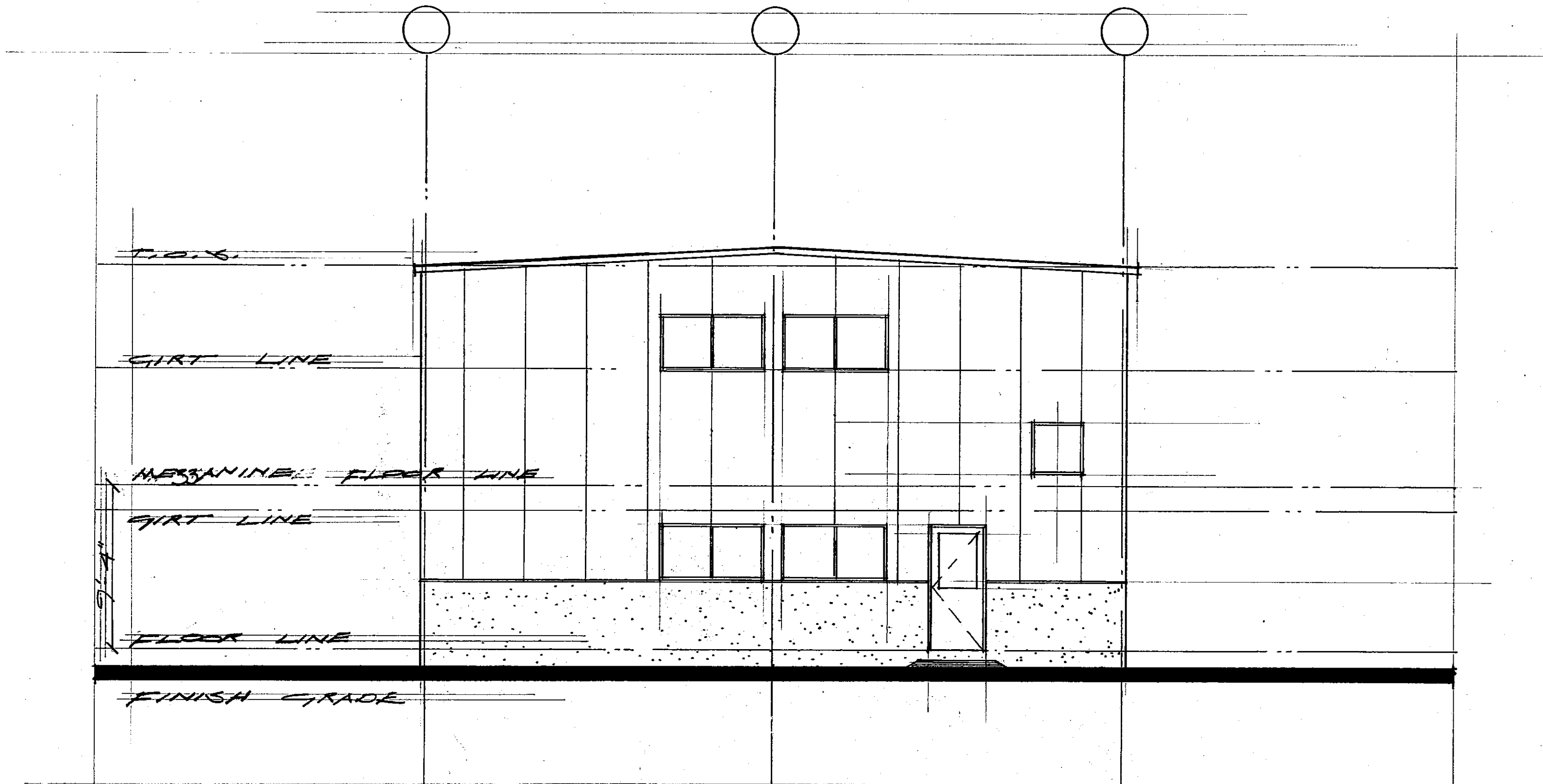
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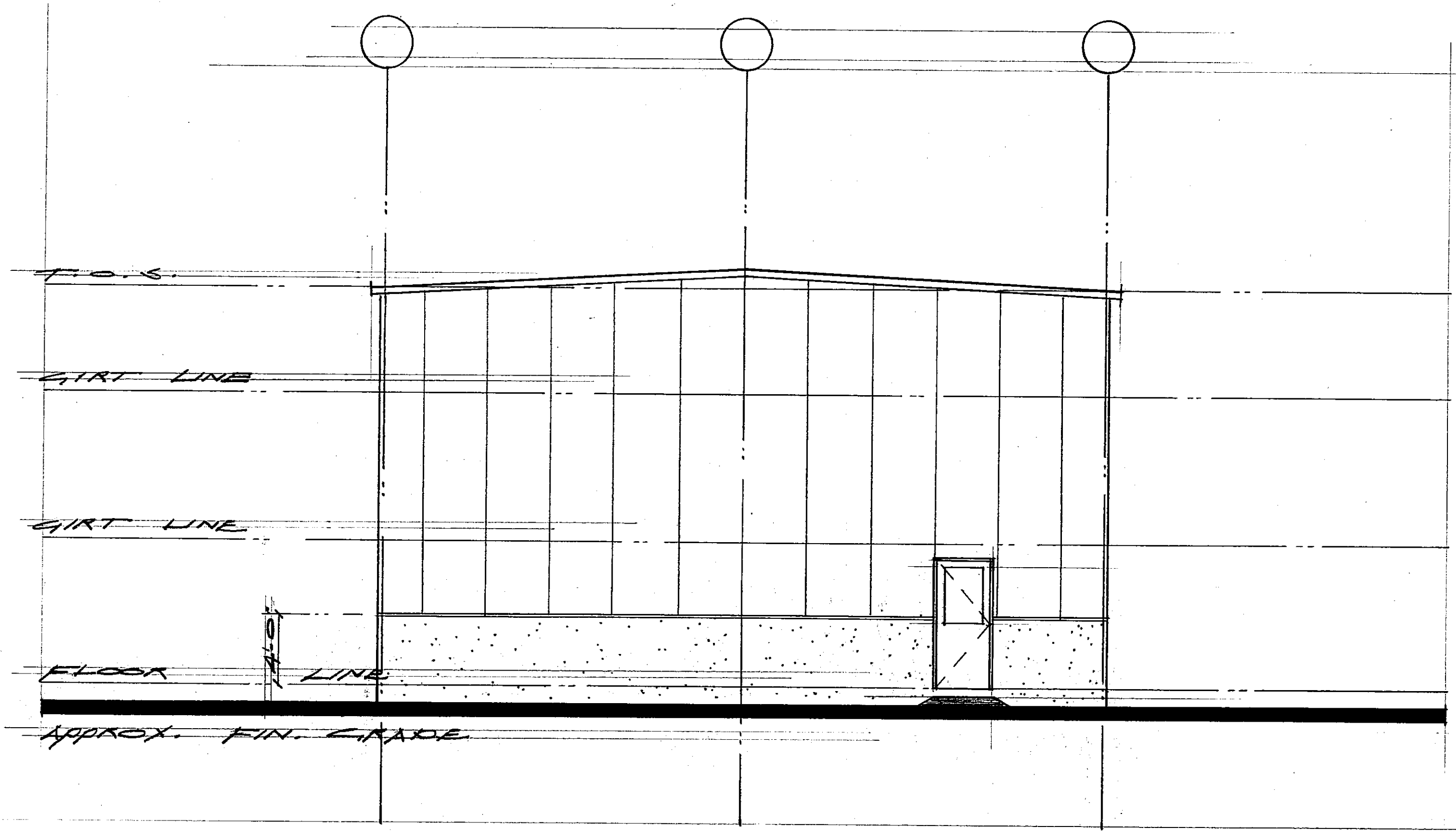
SEDIMENT AND EROSION CONTROL
NEW FACILITY BUILDING
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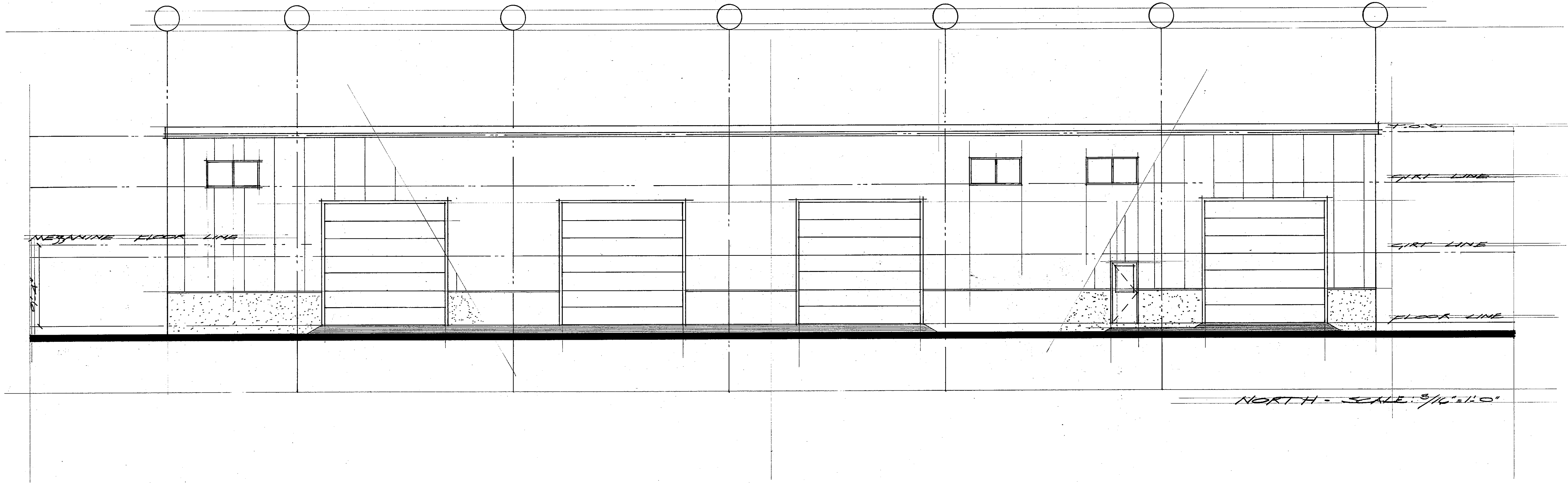
FLOOR PLAN
DATE: 5/10/10



EXIST. SCALE: 3/16" = 1'-0"



WEST - SCALE: 3/16" = 1'-0"



MEZZANINE FLOOR LINE

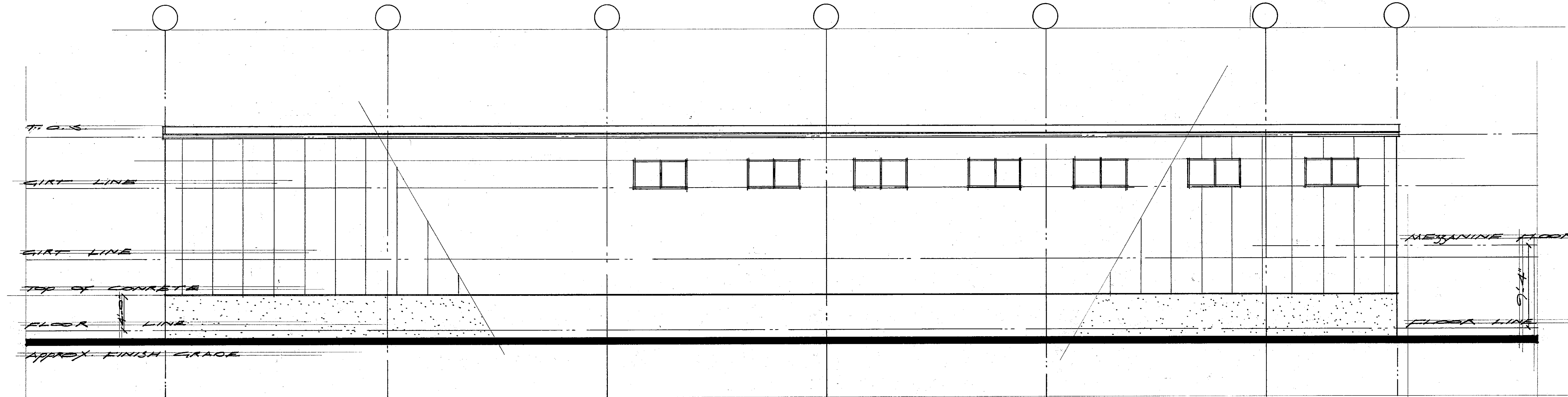
FLOOR LINE

FLOOR LINE

FLOOR LINE

9'-4"

NORTH - SCALE: 3/16" = 1'-0"



SOUTH - SCALE: 3/16"=1'-0"