PLANSET FOR APPLICATION FOR SITE PLAN REVIEW MERIDEN LIBRARY 22 BEAN ROAD TAX MAP 104, LOT 23 PLAINFIELD, NEW HAMPSHIRE

AUGUST 11, 2021

FOR REVIEW BY: TOWN OF PLAINFIELD, NH PLANNING BOARD

PREPARED FOR OWNER:
Plainfield Public Libraries
Board of Trustees
22 Bean Road
Meriden, NH 03770

PREPARED BY ENGINEER:
Right Angle Engineering, PLLC
Erin Darrow, P.E., C.P.E.S.C.
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Lot Information

Lot Location	Map 104, Lot 23 22 Bean Road; Meriden, NH
Lot Size	0.96 Acres 41,817 Square Ft
Zone	VR - Village Residential
Setbacks	30' front yard 15' side & rear yard
Allowable Impervious Surface Coverage	40%
Existing Impervious Coverage	11.4% (4770 sq. ft.)
Proposed Impervious Coverage	22.8% (9553 sq. ft.)
Allowable Building Height	35 ft.
Existing & Proposed Building Height	less than 35 ft
Existing & Proposed Use	Library

PLANSET CONTENTS:

Sheet 1: Cover Sheet

Sheet 2: Existing Conditions Survey

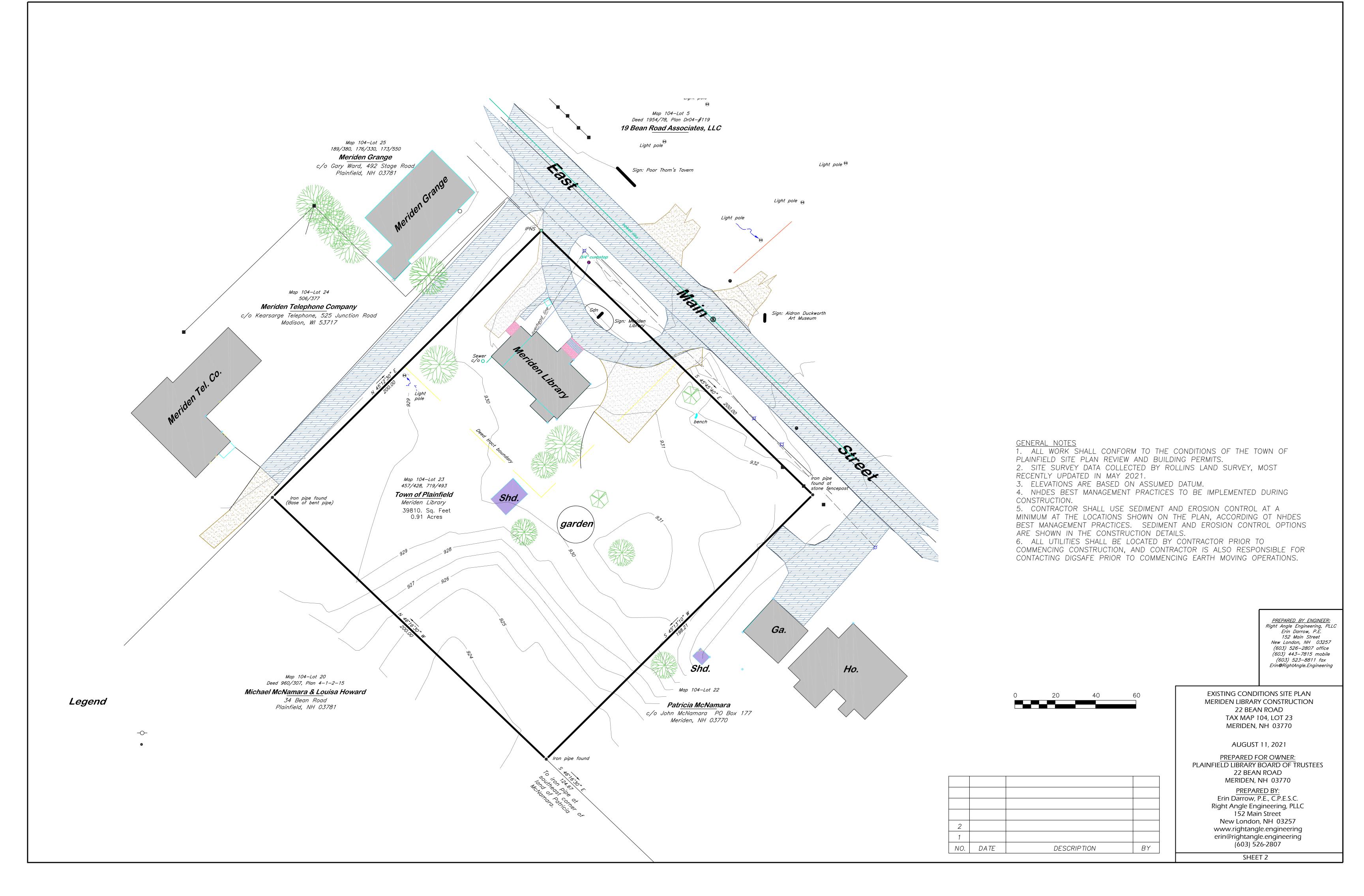
Sheet 3: Proposed Site Plan
Sheet 4: Construction Detail
Sheet 5: Construction Details
Sheet 6: Construction Details
Sheet 7: Construction Details

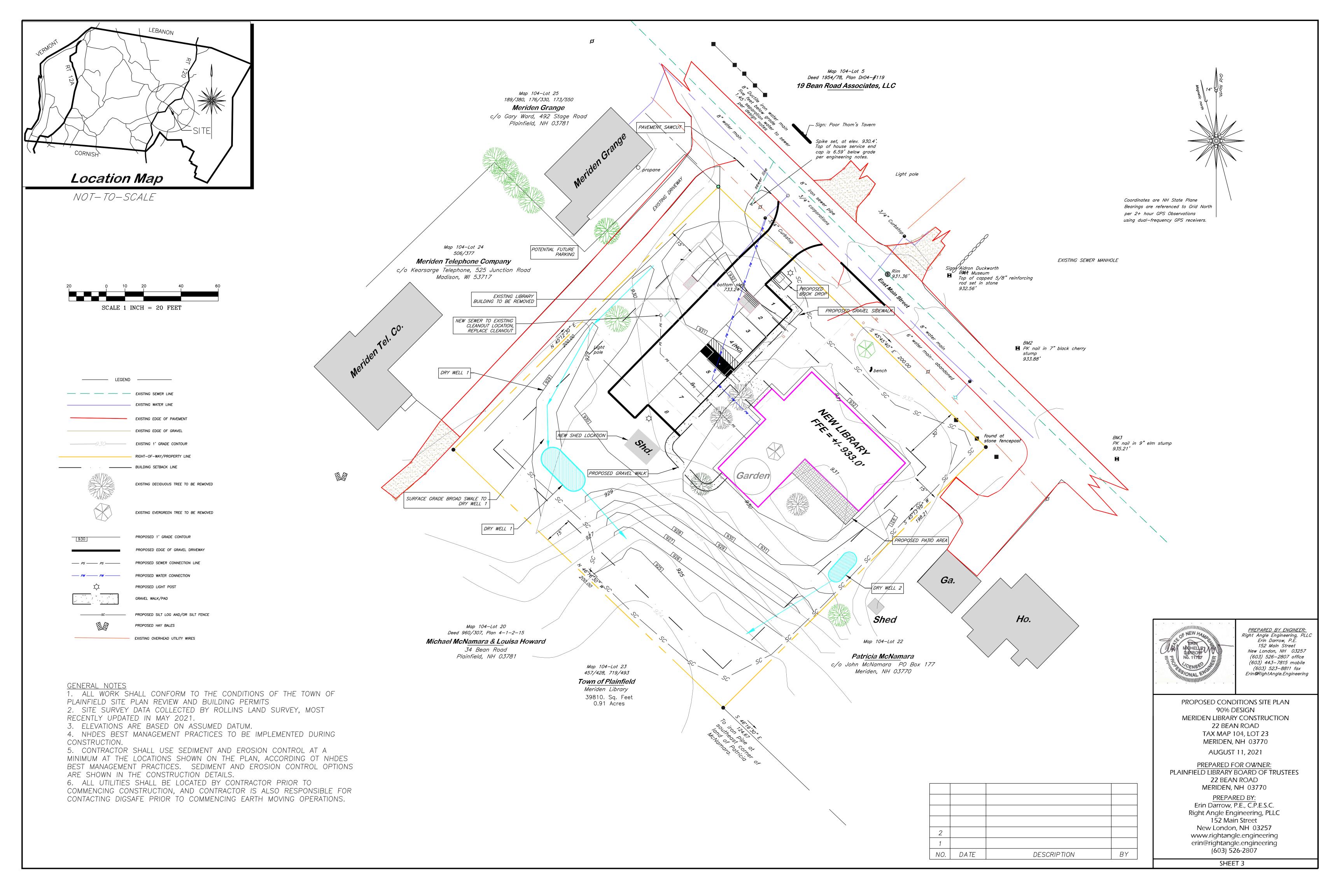


SITE LOCATION MAP NOT-TO-SCALE

Impervious Surface

Description	Existing Area (Square Feet)	Proposed Area (Square Feet)
Gravel Parking, Storage, Walkways	1,710 sf	5218 sf
Asphalt Parking, Driveway	1465 sf	o sf
Concrete Pads	o sf	o sf
Building	1595 sf	4335 sf
TOTAL	4,770 sf	9,553 sf
Percent of Lot (41,817 SF)	11.4%	22.8%





GENERAL NOTES 1. THE CONTRACTOR IS RESPONSIBLE FOR ALL WORK SHOWN ON THE DRAWINGS, UNLESS OTHERWISE NOTED. THE CONTRATOR SHALL PROVIDE AND INSTALL ALL MATERIALS REQUIRED TO COMPLETE PLANS. 2. CONTRACTOR IS RESPONSIBLE FOR REPORTING CONDITIONS IDENTIFIED ON-SITE THAT IMPACT THE PHASING, IMPLEMENTATION, FINAL CONDITIONS, AND/OR OVERALL CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR SHALL COORDINATE CONSTRUCTION ACTIVITES, MATERIALS STORAGE, AND EQUIPMENT STAGING AREAS WITH THE ENGINEER. 4. NHDOT ITEM 692, MOBILIZATION, SHALL INCLUDE THE DESIGN, CONSTRUCTION, AINTENANCE, REMOVAL, AND RESTORATION OF THE SITE AREA FOR CONSTRUCTION. 5. ALL DISTURBED AREAS WITHN PROJECT LIMITS NOT COVERED BY HARD SURFACES, LANDSCAPING, OR STORMWATER TREATMENT SHALL BE FINISHED WITH 4" OF LOAM (NHDOT ITEM 641) AND TURF ESTABLISHMENT WITH MULCH AND TACKIFIERS (NHDOT ITEM 646.31). SITE SECURITY AND JOB SAFETY ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ALL CONSTRUCTION ACTIVITIES SHALL COMPLY WITH OSHA STANDARDS AND LOCAL REQUIREMENTS. 7. THE CONTRACTOR SHALL PROVIDE SUBMITTALS (GRADATIONS, PROCTORS, PRODUCT DATA, ETC.) FOR ALL MATERIALS TO BE INCORPORATED INTO THE WORK.

ENGINEER PRIOR TO CONSTRUCTION.

SHALL BE DETERMINED BY THE ENGINEER.

MATERIALS REQUIRING TESTING.

THE CONTRACTORS COST.

ALL COSTS IN PROPOSAL.

ROLLINS, LLS, IN 2018 AND 2021.

CONTRACTOR.

BASIS.

CONSTRUCTION.

OR RELOCATION.

THE ENGINEER SHALL HAVE FULL ACCESS TO THE SITE WHEN THE WORK IS IN

9. THE CONTRACTOR SHALL PROVIDE A DETAILED CONSTRUCTION SCHEDULE TO THE

11. ALL MATERIALS SHALL CONFORM TO THE MOST RECENT SPECIFICATION OF THE NEW

12. THE CONTRACTOR IS RESPONSIBLE FOR REPAIR TO ALL DAMAGES CAUSED DURING

13. THE CONTRACTOR IS RESPONSIBLE TO RESTORATION TO ALL DISTURBED AREAS OUTSIDE

14. FINAL RESOLUTION TO CONFLICTS WITHIN THE SPECIFICATIONS OR ANY SUBSTITUTIONS

15. THE CONTRACTOR SHALL NOT DISTURB ANY EXISTING PROPERTY CORNER, MONUMENT,

16. ALL TESTING SHALL BE ORDERED BY THE ENGINEER AND COORDINATED BY THE

CONTRACTOR IN ACCORDANCE WITH NHDOT, AASHTO, AND THE PROJECT SPECIFICATIONS.

CONTRACTOR SHALL GIVE THE ENGINEER 48 HOURS ADVANCE NOTICE PRIOR TO PLACING

17. CONCRETE AND SOIL TESTING IS TO BE PERFORMED BY A QUALIFIED PERSON OR FIRM

APPROVED BY THE ENGINEER. TESTING COSTS ARE SUBSIDIARY AND SHALL BE INCLUDE IN

OF THE CONTRACTOR. PROCTOR TESTS ORDERED BY THE ENGINEERE SHALL BE SAMPLED

19. BUILDING AND SITE LAYOUT ARE SUBSIDIARY AND ARE THE RESPONSIBILITY OF THE

CONTRACTOR, OBSERVED BY THE ENGINEER, AND PAID FOR BY THE CONTRACTOR. INCLUDE

20. BASE PLAN INFORMATION BASED ON DATA COLLECTED BY ROLLINS LAND SURVEY, CHRIS

AND PERFORMED BY AN INDEPENDENT TESTING LABORATORY AND PAID FOR BY THE

18. DETERMINATION OF MAXIMUM DENSITIES FOR SAND AND GRAVELS ARE THE RESPONSIBILITY

SURVEY MARKER, OR BENCHMARK WITHOUT FIRST MAKING PROVISIONS FOR ITS REPLACEMENT

10. ENGINEER SHALL BE NOTIFIED OF ANY DESIGN CHANGES.

THE LIMITS OF WORK TO PRE-CONSTRUCTION CONDITIONS.

HAMPSHIRE DEPARTMENT OF TRANSPORATION UNLESS OTHERWISE NOTED.

PREPARATION AND PROGRESS. THEY MAY OBSERVE THE WORK ON A PERIODIC OR FULL-TIME

CONSTRUCTION SEQUENCE NOTES:

1. INSTALL SEDIMENT AND EROSION CONTROL FACILITIES. ALL PERIMETER CONTROLS SHALL BE INSTALLED PRIOR TO EARTH MOVING OPERATIONS.

2. ALL SEDIMENT AND EROSION CONTROL SHALL BE IN ACCORDANCE WITH NEW HAMPSHRE DEPARTMENT OF ENVIRONMENTAL SERVICES BEST MANAGEMENT PRACTICES. 3. INSPECT SITE REGULARLY TO ENSURE PROPER FUNCTION OF SEDIMENT AND EROSION CONTROLS. SITE SHALL BE INSPECTED WEEKLY, AT A MINIMUM, AND ALSO AFTER/DURING SEVERE STORM EVENT(S), AFTER/DURING ANY RAINFALL THAT EXCEEDS $\frac{1}{2}$ INCH IN 24 HOURS.

4. FINAL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED DOWNGRADIENT FROM ALL IMPACTS.

REMOVE EXISTING BUILDING AND PARKING LOT/DRIVEWAY AREAS.

SITE EXISTING BUILDING.

INSTALL NEW FOUNDATION AND RETAINING WALLS. CONSTRUCT BUILDING ACCORDING TO ARCHITECTURAL BUILDING DESIGN

SPECIFICATIONS.

9. INSTALL PERMANENT STORM WATER RUNOFF STRUCTURES.

10. INSTALL NEW PARKING AND DRIVEWAY ACCESS AREA, INCLUDING NEW DRAINAGE STRUCTURES.

11. CONSTRUCT NEW DRIVEWAY AND PARKING.

12. REMOVE SEDIMENT AND EROSION CONTROL MEASURES UPON SITE STABILIZATION. 13. CONTRACTOR IS RESPONSIBLE FOR LOCATION OF UTILITIES AND AVOIDING DAMAGE DURING CONSTRUCTION. DIGSAFE SHALL BE CONTACTED BY CONTRACTOR PRIOR TO

GENERAL SEWER NOTES:

GEOTECHNICAL NOTES:

RANDALL RHOADES, P.E., IN 2018.

PRIOR TO FOUNDATION AND WALL CONSTRUCTION ..

1. SEWER CONNECTION SHALL BE INSTALLED ACCORDING TO THE STANDARDS OF THE NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES.

1. GEOTECHNICAL TESTING WAS COMPLETED BY M&W SOILS ENGINEERING,

VERIFICATION OF GEOTECHNICAL SOIL CONDITIONS SHALL BE COMPLETED

2. POLYETHYLENE PIPE SHALL CONFORM TO AMERICAN WATER WORKS ASSOCIATION (AWWA)

3. ALL FITTINGS SHALL MEET THE REQUIREMENTS OF AWWA C901.

4. PIPE JOINTS SHALL BE OF THE COMPRESSION TYPE UTILITZING A TOTALLY CONFINED GRIP SEAL AND COUPLING NUT. STAINLESS STEEL TUBE STIFFENER INSERT SHALL BE USED THAT DO NOT EXTEND BEYOND THE CLAMP OR COUPLING NUT.

5. DETECTABLE WARNING TAPE SHALL BE PROVIDED, WITH A POLYETHYLENE FILE, ENCASING A METALLIC CORE, MINIMUM 6 INCHES WIDE AND COLOR-CODED GREEN FOR SEWER, BEARING IN BLACK LETTERS THE CONTINOUS LEGEND, "CAUTION - PRESSURE MAIN BURIED BELOW".

6. DETECTABLE WARNING TABLE TO BE INSTALLED DIRECTLY ABOVE PIPELINE, A MINIMUM OF 18 INCHES BELOW FINISHED GRADE BUT NO LESS THAN 24 INCHES ABOVE THE CROWN OF THE PIPE.

7. ALL WORK SHALL BE IN COMPLIANCE WITH ENV-WQ 704.07.

GENERAL UTILITY NOTES:

COMMENCING EXCAVATION.

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE LOCATION OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION PROCEDURE. THERE ARE OVERHEAD POWER TRANSMISSION LINES AND OTHER UTILITIES WITH ROADWAY CROSSING AND LINES IN THE IMMEDIATE VICINTY OF THE BRIDGE. THE CONTRACTOR IS ADVISED THAT EXTREME CAUTION WILL BE REQUIRED IN THE OPERATION OF EQUIPMENT, EXPECIALLY CRANES. CONTACT DIG-SAFE AT 1-888-DIG-SAFE.

2. ALL UTILITY INSTALLATIONS, INCLUDING THE LOCATION, SIZE, DEPTH, AND SPCIFICATION FOR CONSTRUCTION OF THE PROPOSED UTILITY SERVICES SHALL BE INSTALLED UNDER THE SUPERVISION OF AND COMPLYING WITH THE REQUIREMENTS OF THE RESPECTIVE UTILITY COMPANY (ELECTRIC, TELEPHONE, CABLE, ETC.)

3. DAMAGE TO ANY UTILITY BY THE CONTRACTOR SHALL BE REPORTED TO THE UTILITY COMPANY. REPAIR OF THE UTILITY SHALL BE PAID FOR BY THE CONTRACTOR.

4. PROPOSED UNDERGROUND UTILITY LINE LOCATION IS APPROXIMATE. FINAL LOCATION SHALL BE DETERMINED IN THE FIELD AND WILL BE IN COMPLIANCE WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS.

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CONSTRUCTION DETAILS PLAN RY CONSTRUCTION AN ROAD 104, LOT 23 N, NH 03770

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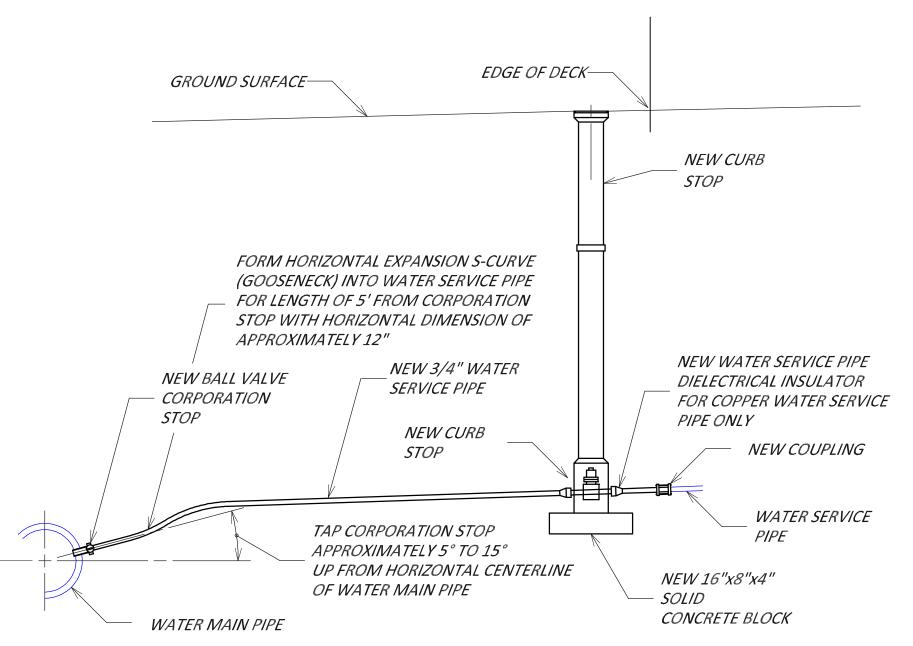
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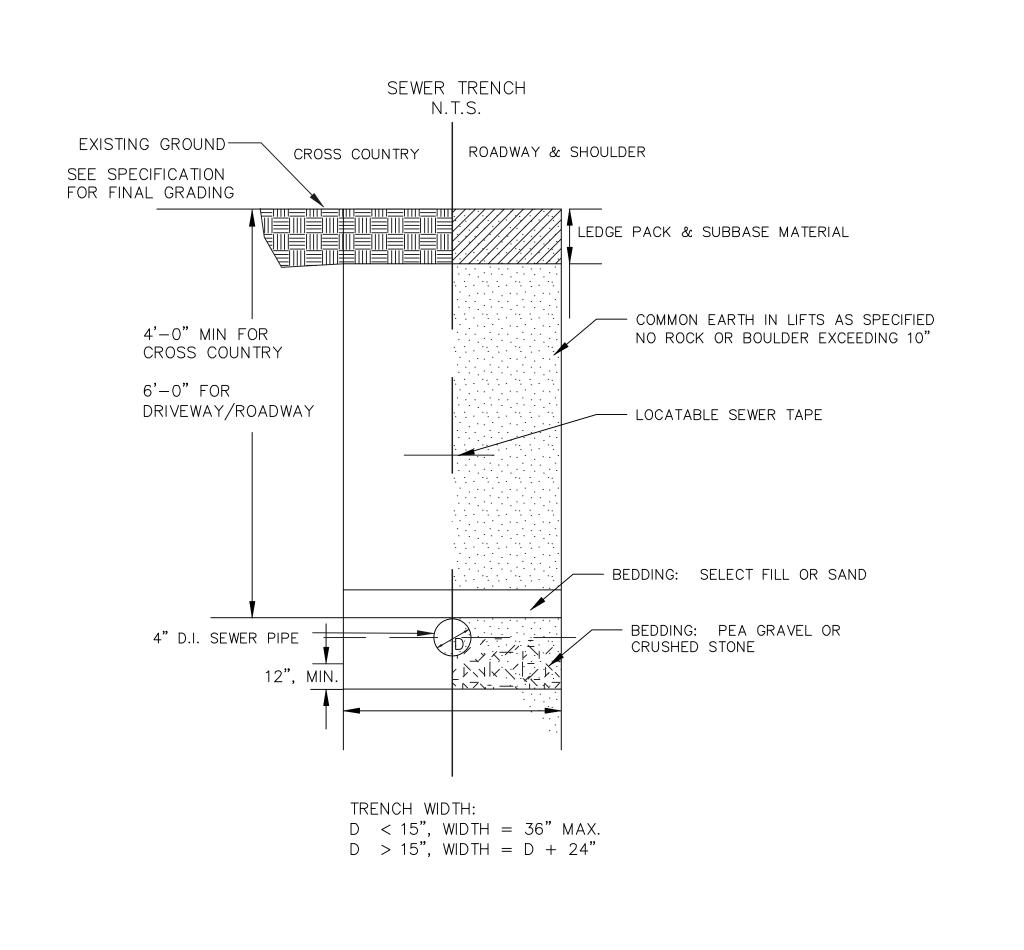
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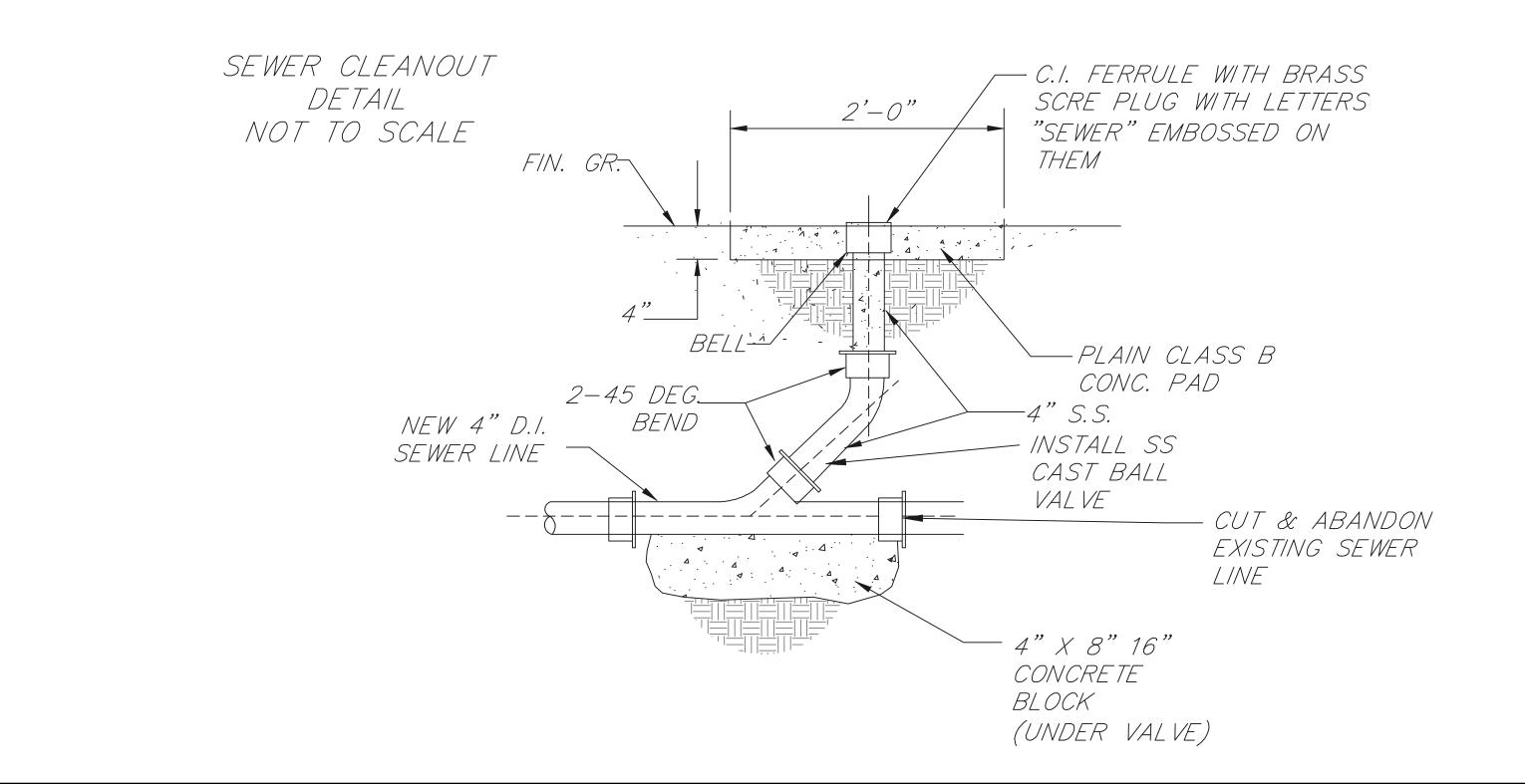
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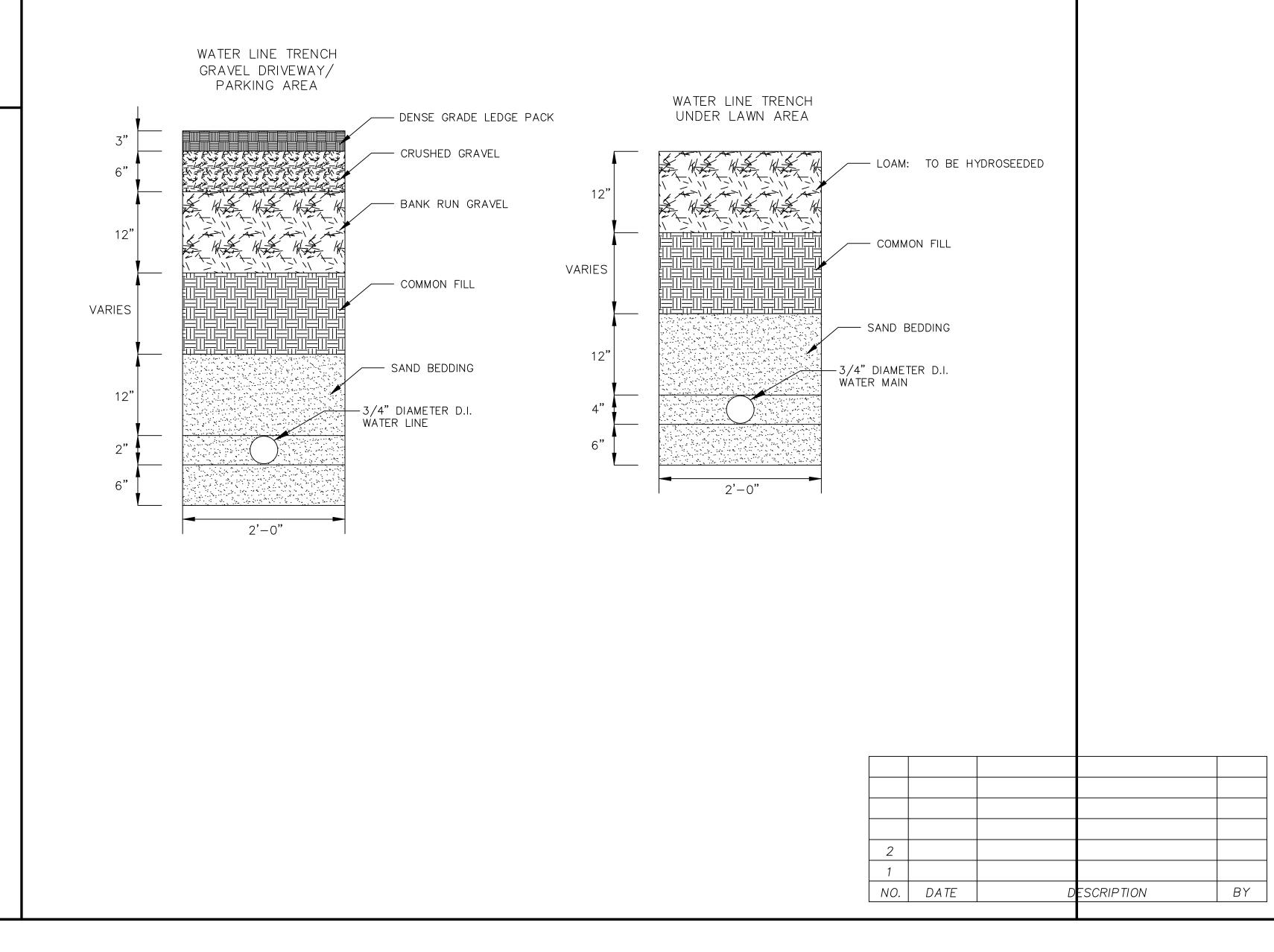


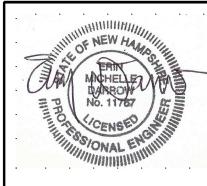
NOTES:

- 1. WATER SERVICE PIPE IS TO HAVE MINIMUM COVER DEPTH OF 5.50 FEET FROM FINISHED SURFACE.
- 2. WATER SERVICE PIPE IS TO RUN PERPENDICULAR TO WATER MAIN PIPE
- 3. WARNING TAPE MUST BE INSTALLED WITH ALL OPEN CUT TRENCHED WATER SERVICE PIPE INSTALLATIONS.
- 4. USE BALL STYLE CURB STOP CBXCB COMPRESSION, 3/4", PART NUMBER 202NH-H3H3, AS REQUIRED BY THE TOWN OF HANOVER DEPARTMENT OF PUBLIC WORKS.









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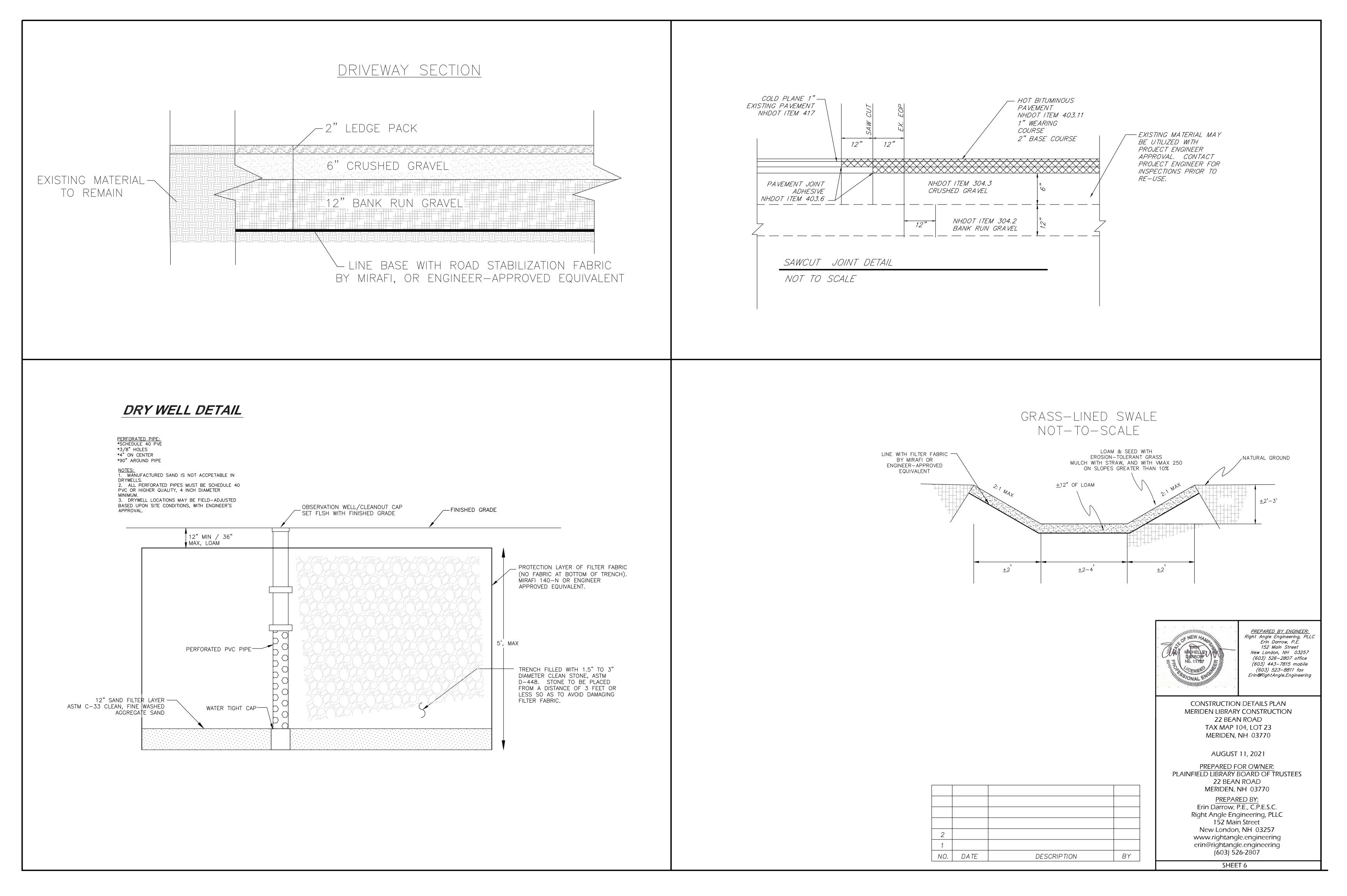
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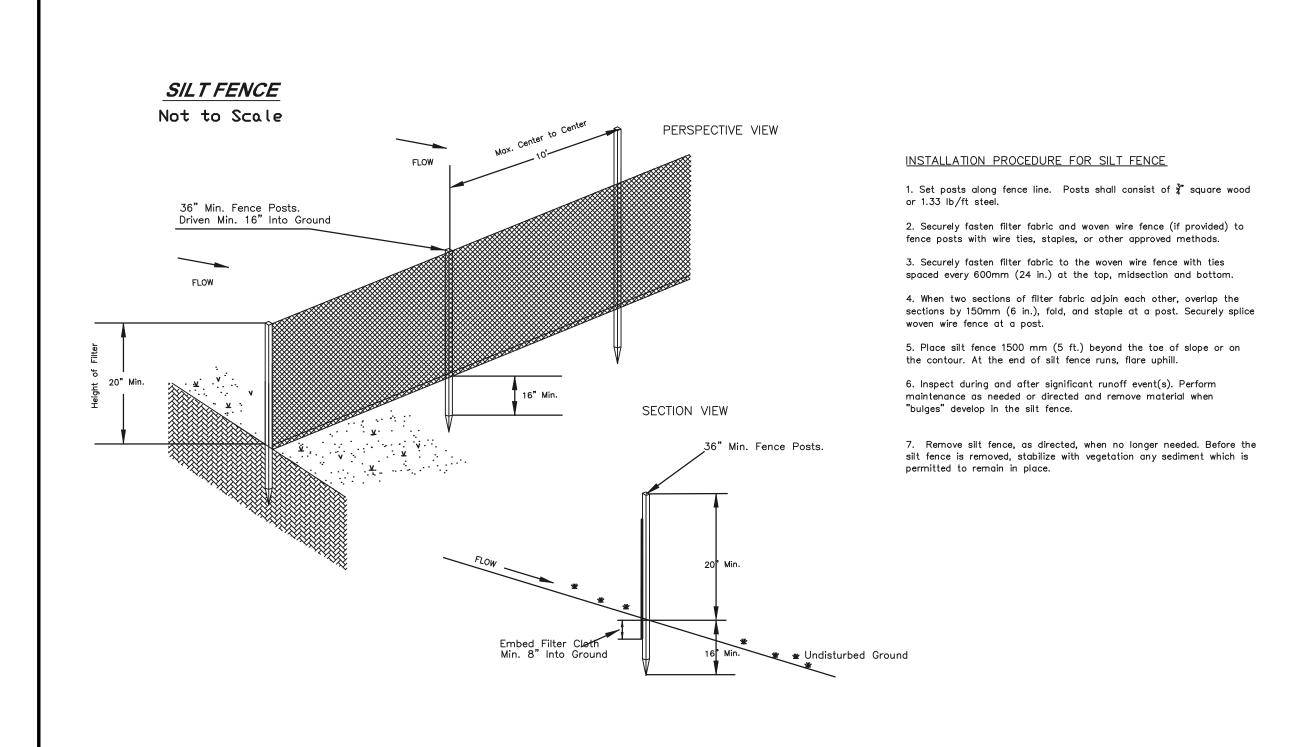
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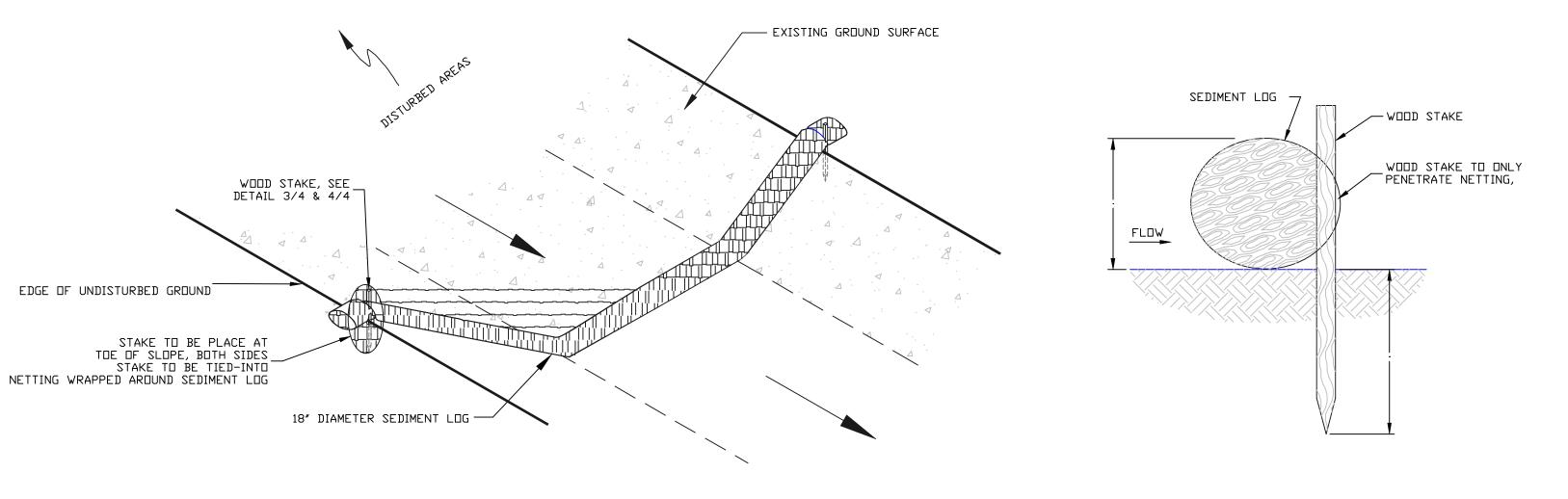
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NOT-TO-SCALE



VEGETATIVE MEASURES

TOPSOIL STOCKPILING: TOPSOIL SHALL BE STRIPPED AND STOCKPILED FOR LATER USE ON CRITICAL AREAS AND ALL OTHER AREAS TO BE SEEDED. THE STOCK PILE WILL NOT BE COMPACTED AND SHALL BE STABILIZED AGAINST EROSION WITH TEMPORARY SEEDING.

TEMPORARY SEEDING:

- A) BEDDING: REMOVE STONES AND TRASH THAT WILL INTERFERE WITH SEEDING THE AREA. WHERE FEASIBLE, TILL THE SOIL TO A DEPTH OF ABOUT THREE INCHES TO PREPARE SEED BED AND MIX THE FERTILIZER INTO THE SOIL.
- B) FERTILIZER: FERTILIZER SHOULD BE UNIFORMLY SPREAD OVER THE AREA PRIOR TO BEING TILLED INTO THE SOIL. A 10-10-10 MIX OF FERTILIZER SHOULD BE APPLIED AT A RATE OF 300 POUNDS PER ACRE (OR 7 POUNDS PER 1,000 S.F.)
- C) SEED MIXTURE: USE ANY OF THE FOLLOWING:

SPECIES	PER ACRE	PER 1000 S.F.	DATES
WINTER RYE	112 LBS.	2.6 LBS.	8/15 - 10/1 (FALL)
OATS	80 LBS.	2.0 LBS.	4/1 - 7/1 ; 8/15 - 9/15
RYEGRASS (ANNUAL)	40 LBS.	1.0 LBS.	4/1 - 6/1
RYEGRASS (PERENIAL)	30 LBS.	0.7 LBS.	4/1 - 6/1 ; 8/15 - 9/15

D) MULCHING: MULCH SHALL BE USED ON HIGHLY ERODABLE SOIL, ON CRITICALLY ERODING AREAS, AND ON AREAS WHERE CONSERVATION OF MOISTURE WILL FACILITATE PLANT ESTABLISHMENT.

TYPE	RATE PER 1,000 S.F.	USE AND COMMENTS
HAY OR STRAW	70 TO 90 LBS.	MUST BE DRY AND FREE
		OF MOLD. MAY BE USED
		WITH PLANTINGS.
WOOD CHIPS OR	160 TO 920 LBS.	USED MOSTLY WITH TREES
BARK MULCH		AND SHRUBS PLANTINGS.
JUTE AND FIBROUS	AS PER MANUFACTURERS	USED IN SCOPE AREAS.
MATTING	SPECIFICATIONS	WATER COURSED AND
		OTHER AREAS.
CRUSHED STONE	SPREAD MORE THAN	EFFECTIVE IN CONTROLLING
½" TO 1½ DIA.	½" THICK	WIND AND WATER EROSION.

WINTER STABILIZATION NOTES:

- ALL PROPOSED VEGETATED AREAS THAT DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETEDD IN ADVANCE OF THAW OR SPRING MELT EVENTS.
- ALL DITCHES OR SWALES THAT DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
- AFTER NOVEMBER 15, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3.

TABLE 1: PERMANENT STABILIZATON SEEDING SCHEDULE

AREA/PURPOSE	DRAINAGE CLASS	SOIL PH	APPROPRIATE MIXTURE (LBS/ACRE)
WINTER ROADS; LANDINGS; WILDLIFE	POORLY	5.0-7.5	REED CANARYGRASS (15) BIRDSFOOT TREFOIL (10) REDTOP (2)
ROADS;TRAILS; LANDINGS; BURNED OVER TERRAIN	EXCESSIVELY TO SOMEWHAT POORLY	4.5-7.5	CREEPING RED FESCUE (20) TALL FESCUE (20) REDTOP (2)
ROADS; TRAILS; LANDINGS; BURNED OVER; BRUSH CONTROL	EXCESSIVELY WELL TO SOMEWHAT POORLY	5.5-7.5	FLATPEA (20) TALL FESCUE (20) REDTOP (2)
ROADS; LANDINGS; WILDLIFE	WELL TO MODERATELY POORLY	5.0-7.5	CREEPING RED FESCUE (20) BIRDSFOOT TREFOIL (8) REDTOP (2)
ROADS; LANDINGS; WILDLIFE	WELL TO MODERATELY POORLY	5.5-7.5	CROWNVETCH (15) TALL FESCUE (20) CREEPING RED FESCUE (10) REDTOP (2)

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NO.	DATE	DESCRIPTION	BY	



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