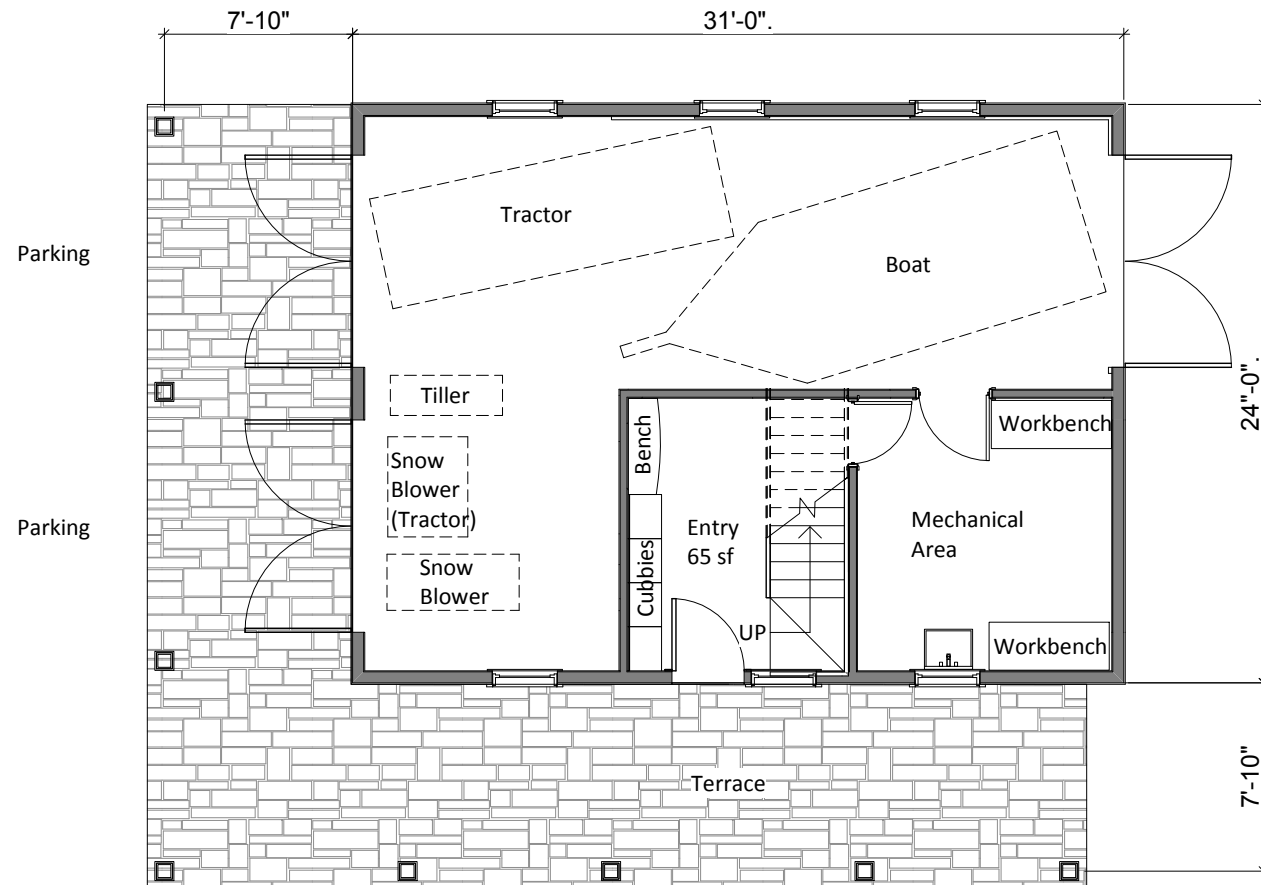
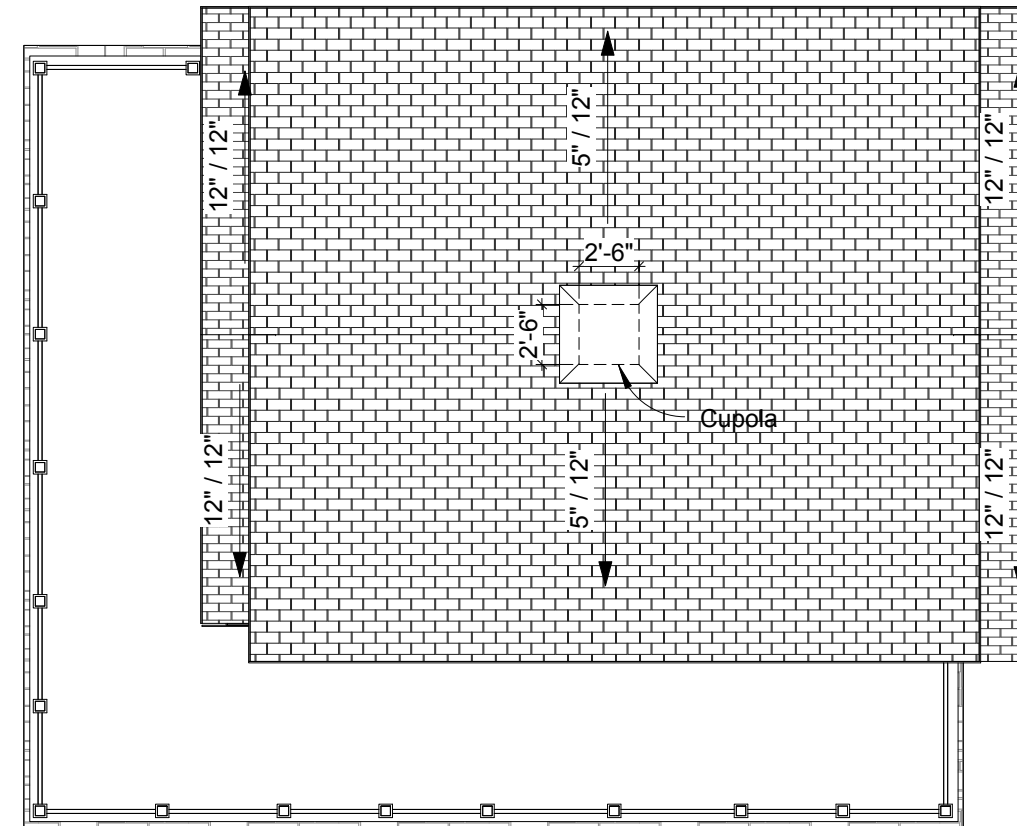


Project Description:

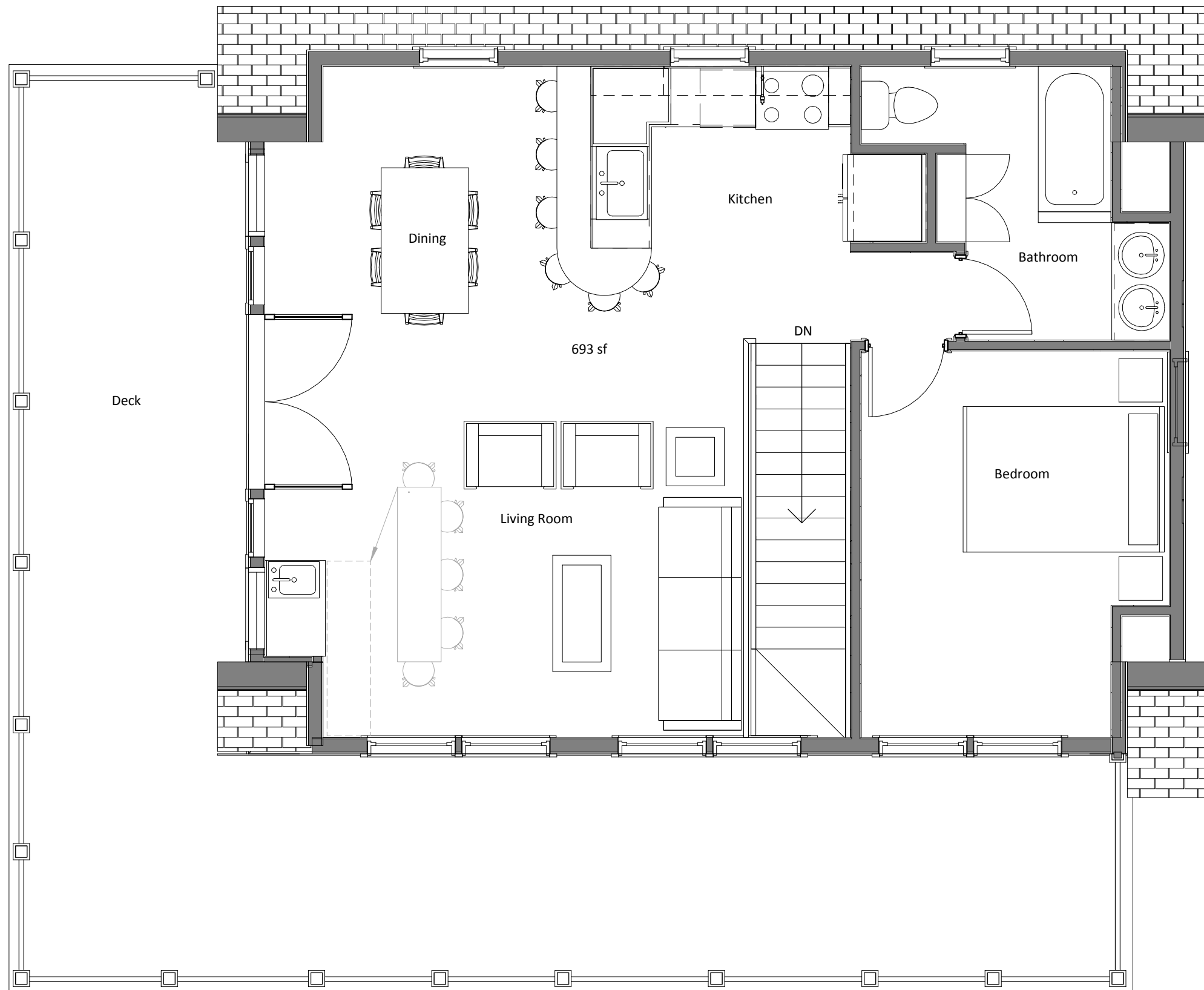
The existing barn will be converted into an Accessory Dwelling Unit (ADU). The lower level of the existing barn will continue to be primarily used for parking/storage. A portion of the lower level will be enclosed and finished to be an entryway to the upper level. An unfinished mechanical area will be for the furnace or boiler, water heater and other equipment. The upper level will be completely renovated to include a finished ADU with one bedroom, one bathroom, a kitchen, living room, and dining room. The exterior will be finished to match the existing appearance with stained vertical barn boards. The upper level will have new wrap around deck with a stone terrace below on the lower level. Two parking spaces will be provided, and the existing curb cut will be utilized to access the ADU. The total square footage of the interior living space is 693 sf on the second floor, the entry on the lower level is 65 sf, which is less than 50% of the gross area of the primary residence. A new septic system will be installed for the ADU and the water will be supplied from the existing on site well. Electrical will be installed either underground or overhead from the nearby Old Country Road.



1 Lower Level Plan
1/8" = 1'-0"



2 Roof Plan
1/8" = 1'-0"



STUDIO

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White River Junction, VT
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NEXUS



PROJECT
NORTH

**BOLDUC BARN
6 BEAUTY HILL
PLAINFIELD, NH**

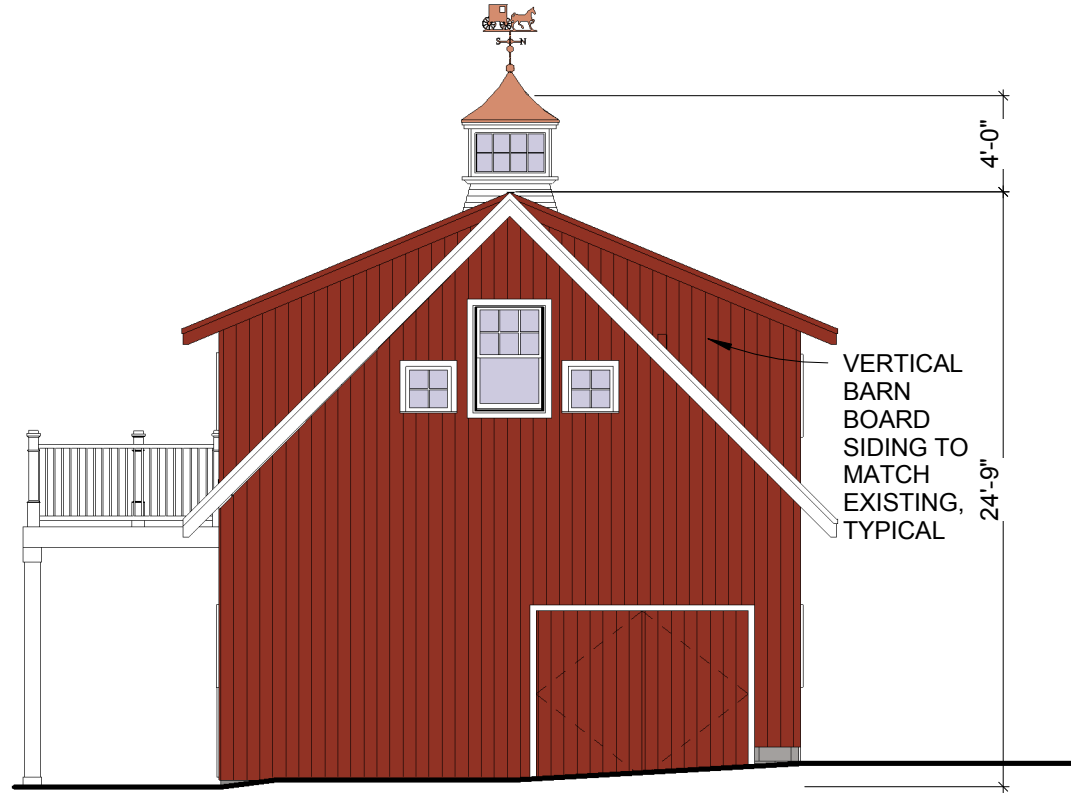
**ZONING REVIEW
PRELIMINARY NOT
FOR CONSTRUCTION**

Second Floor Plan

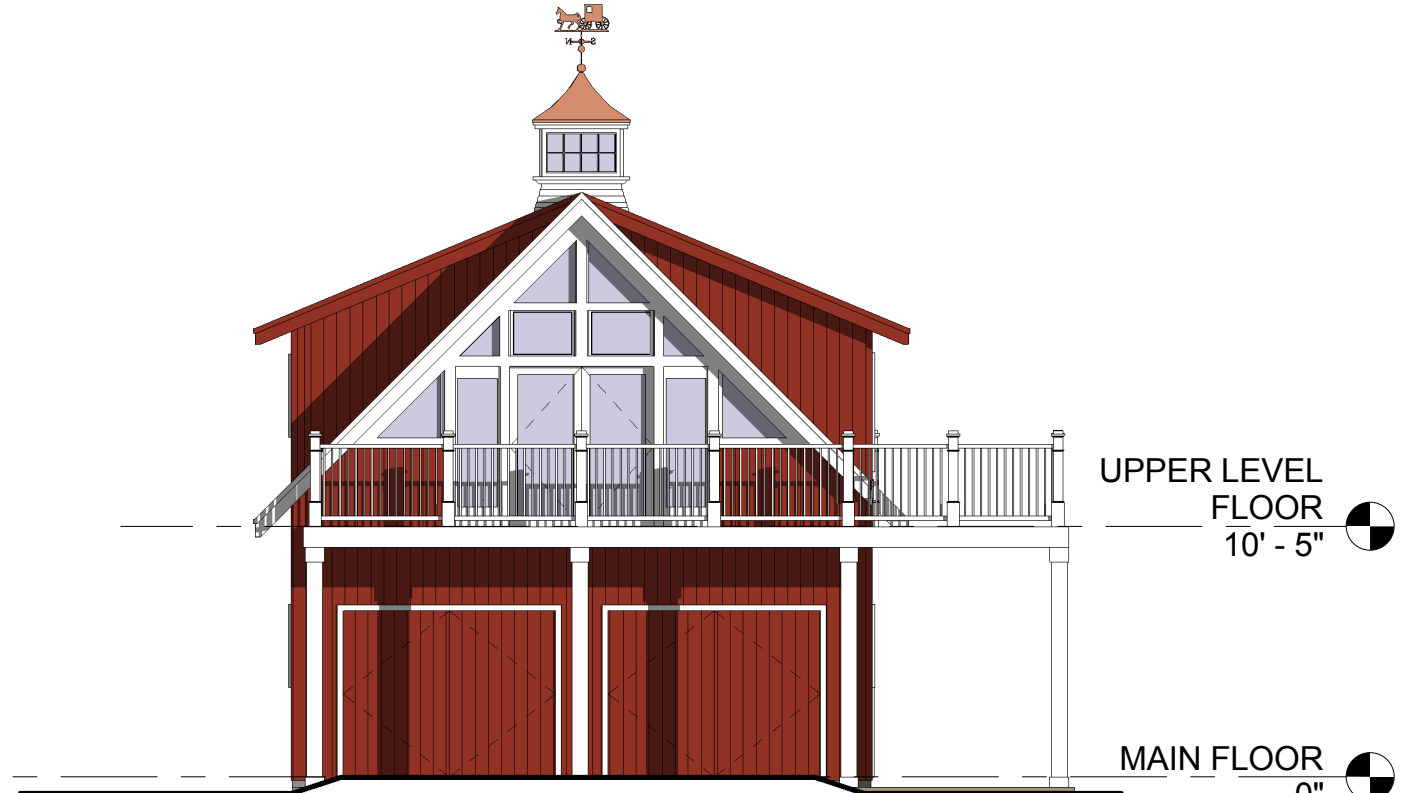
Project number	1410
Date	January 23, 2015
Drawn by	WDN
Checked by	DJS

A-2

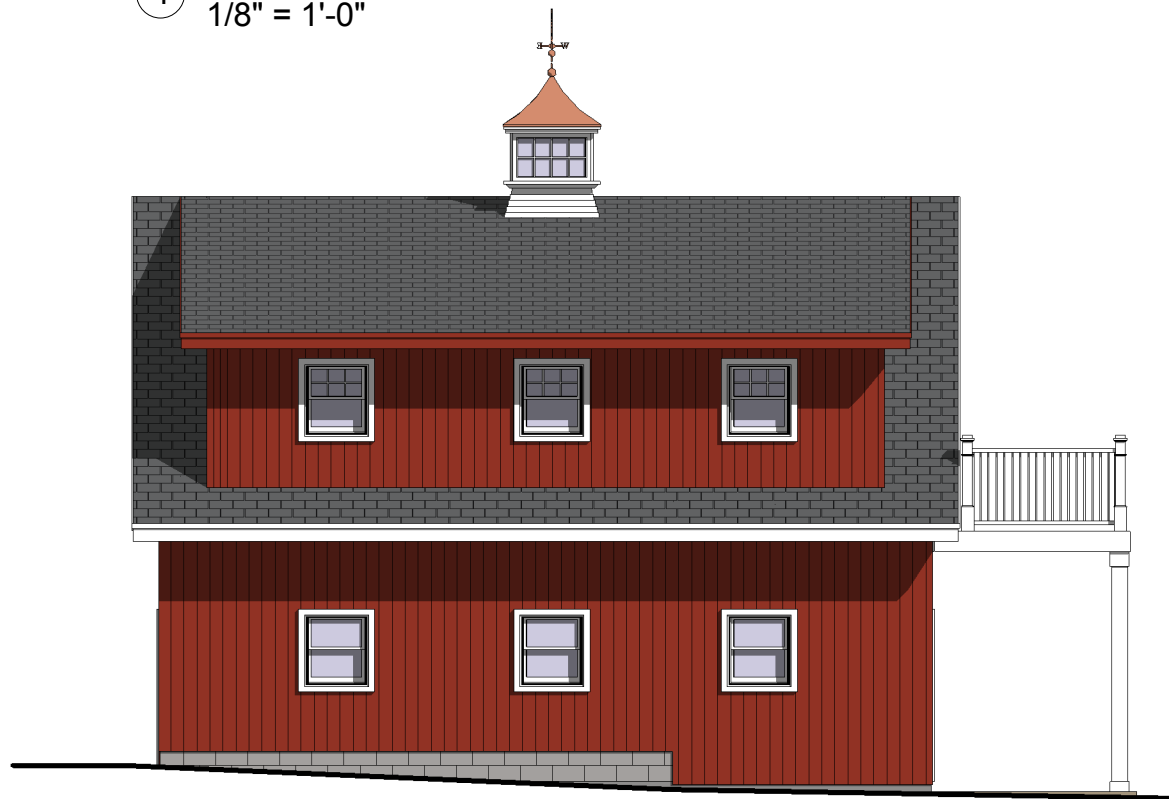
Scale 1/4" = 1'-0"



4 East Elevation.
1/8" = 1'-0"



3 West Elevation.
1/8" = 1'-0"



2 North Elevation.
1/8" = 1'-0"



1 South Elevation.
1/8" = 1'-0"

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BOLDUC BARN
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PLAINFIELD, NH

ZONING REVIEW
PRELIMINARY NOT
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Elevations

Project number	1410
Date	January 23, 2015
Drawn by	WDN
Checked by	DJS

A-3
Scale 1/8" = 1'-0"



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**BOLDUC BARN
6 BEAUTY HILL
PLAINFIELD, NH**

**ZONING REVIEW
PRELIMINARY NOT
FOR CONSTRUCTION**

Perspective

Project number	1410
Date	January 23, 2015
Drawn by	DJS
Checked by	DJS

A-4

Scale